



REGULAR MEETING OF COUNCIL
Tuesday, February 22, 2022 @ 4:00 PM
Ucluelet Community Centre,
500 Matterson Drive, Ucluelet

AGENDA

	Page
1. CALL TO ORDER	
2. ACKNOWLEDGEMENT OF THE YUULU?I?ATH	
<p>Council would like to acknowledge the Yuulu?i?ath, on whose traditional territories the District of Ucluelet operates.</p>	
3. NOTICE OF VIDEO RECORDING	
<p>Audience members and delegates are advised that this proceeding is being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.</p>	
4. LATE ITEMS	
5. APPROVAL OF AGENDA	
6. ADOPTION OF MINUTES	
6.1 January 25, 2022 Regular Minutes	5 - 10
<p>2022-01-25 Regular Council minutes</p>	
7. PUBLIC INPUT & DELEGATIONS	
7.1 Public Input	
7.2 Delegations	
<ul style="list-style-type: none">• Dave McIntosh, Ucluelet Concerned Citizens	
<p>Re: Communicating with Council</p>	
<p>Ucluelet Concerned Citizens</p>	
8. UNFINISHED BUSINESS	
9. BYLAWS	
9.1 Single-Use Item Regulation Amendment Bylaw No. 1298, 2022	13 - 41
<p><i>Paula Mason, Manager of Corporate Services</i></p>	
<p>Single-Use Item Regulation</p>	
10. REPORTS	
10.1 Amphitrite House Project Update	43 - 44
<p><i>Abby Fortune, Director of Parks and Recreation</i></p>	

	Amphitrite House Project Update	
10.2	Development Permit 1536 Peninsula Road <i>John Towgood, Municipal Planner</i> 1536 Peninsula Road	45 - 58
10.3	Appointment of Chief and Deputy Election Officers <i>Paula Mason, Manager of Corporate Services</i> Appointment of Election Officials	59 - 61
10.4	Water Treatment System Upgrades <i>James MacIntosh, Director of Engineering Services</i> Water Treatment System Upgrades	63 - 105
10.5	Interim Policy for Early Referral of Development Applications to Yuułu?i?ath Government for Comment <i>Bruce Greig, Director of Community Planning</i> Yuułu?i?ath Referral Policy	107 - 114
10.6	Village Green Revitalization project <i>Bruce Greig, Director of Community Planning</i> Village Green Project update	115 - 275
11.	NOTICE OF MOTION	
12.	CORRESPONDENCE	
12.1	Request for a Proclamation from the District Municipality of Ucluelet <i>Deirdre Syms, Interim Executive Director, BC Epilepsy Society</i> 2022-02-03 BC Epilepsy Society	277 - 278
12.2	Support for Bill C-216: A Health Based Approach to the Substance Use Act <i>Leslie Baird, Mayor, Village of Cumberland</i> 2022-02-03 Village of Cumberland - Ltr of Support	279 - 281
12.3	Support for the legal challenge of the Government of Quebec - Bill 21 <i>Lisa Helps, Victoria Mayor, City of Victoria</i> 2022-02-08 City of Victoria - Support Bill 21	283 - 286
12.4	Seeking your endorsement for Bill C-229 <i>Peter Julian, MP, New Westminster - Burnaby</i> 2022-02-10 Julian, Peter MP - Support Bill C-229	287 - 290
12.5	Ucluelet Children's Centre - Letter of Support request <i>Kathy deVries, Daycare Manager, Ucluelet Children's Centre</i> 2022-02-15 Ucluelet Children's Centre - Letter of Support request	291
12.6	Correspondence received re: Village Green <i>Ucluelet residents</i> 2022-01-05 Parlee, Rich 2022-01-05 Taylor, Gordon 2022-02-04 Keith-Ferris, Jeanne 2022-02-09 Vigneault, Rina 2022-02-15 Seiber, Patricia 2022-02-16 Village Green petition	293 - 326
13.	INFORMATION ITEMS	

- | | | |
|------|---|-----------|
| 13.1 | Village of Chase - Support for BC Wildfire Petition
<i>Rod Crowe, Mayor, Village of Chase</i>
2022-02-11 Village of Chase - BC Wildfire petition | 327 - 328 |
| 13.2 | C.A.R.E. Network - Letters of Support
<i>Ucluelet/Tofino Residents</i>
2022-02-16 CARE Network - Ltrs of Support | 329 - 340 |
| 13.3 | Better at Home 2022
<i>Tarni Jacobsen, Executive Director, Pacific Rim Hospice Society</i>
2022-04-02 Better at Home 2022 | 341 |
| 13.4 | New Food Bank Building
<i>Board of Directors, Food Bank on the Edge Society</i>
2022-16-02-FOTE - New Food Bank Building | 343 - 344 |
| 13.5 | January 2022 Cheque Listing
<i>Paula Mason, Manager of Corporate Services</i>
Jan 2022 Cheque Listing | 345 - 349 |
| 13.6 | February 2022 Resolution Tracking
<i>Paula Mason, Manager of Corporate Services</i>
Resolution Tracker - February 2022 | 351 - 354 |
| 14. | MAYOR'S ANNOUNCEMENTS | |
| 15. | COUNCIL COMMITTEE REPORTS | |
| 15.1 | Councillor Marilyn McEwen
<i>Deputy Mayor January 1 - March 15, 2022</i> | |
| 15.2 | Councillor Lara Kempes
<i>Deputy Mayor March 16 - May 31, 2022</i> | |
| 15.3 | Councillor Jennifer Hoar
<i>Deputy Mayor June 1 - August 15, 2022</i> | |
| 15.4 | Councillor Rachelle Cole
<i>Deputy Mayor August 16 - October 31, 2022</i> | |
| 15.5 | Mayor Mayco Noël | |
| 16. | QUESTION PERIOD | |
| 17. | CLOSED SESSION | |
| 17.1 | Procedural Motion to Move In-Camera
<p style="margin-left: 40px;">THAT the meeting be closed to the public in order to address agenda items under Section 90(1)(c) of the Community Charter.</p> <p style="margin-left: 40px;">(c) labour relations or other employee relations;</p> | |
| 18. | RECONVENE FROM CLOSED SESSION | |
| 19. | ADJOURNMENT | |

DISTRICT OF UCLUELET
MINUTES OF THE REGULAR COUNCIL MEETING
HELD IN THE UCLUELET COMMUNITY CENTER, 500 MATTERSON DRIVE
Tuesday, January 25, 2022 at 4:00 PM

Present: **Chair:** Acting Mayor McEwen
 Council: Councillors Cole, Hoar and Kempes
 Staff: Duane Lawrence, Chief Administrative Officer
 Donna Monteith, Chief Financial Officer
 Bruce Greig, Director of Community Planning
 James MacIntosh, Director of Engineering Services
 Abby Fortune, Director of Parks & Recreation
 Paula Mason, Manager of Corporate Services
 Jenn Lounsbury, Administration Clerk

Regrets: Mayor Noël

1 CALL TO ORDER

The meeting was called to order at 4:00PM.

2 ACKNOWLEDGEMENT OF THE YUULU?I?ATH

Council acknowledged the Yuulu?i?ath, on whose traditional territories the District of Ucluelet operates.

3 NOTICE OF VIDEO RECORDING

Audience members and delegates were advised that the proceeding was being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.

4 LATE ITEMS

- 4.1 Add "Revenue Anticipation Borrowing Bylaw No. 1301, 2022 - Adoption" as Item 10.3 of the Agenda.**
Add "Public Works Water Main Break Update (verbal report) as Item 14.2 of the Agenda.

5 APPROVAL OF AGENDA

5.1 January 25, 2022 Regular Meeting Agenda

2022.2031.REGULAR *It was moved and seconded **THAT** Council adopt the January 25, 2022 Regular Meeting Agenda as amended.*

CARRIED.

6 ADOPTION OF MINUTES

6.1 January 11, 2022 Regular Minutes

2022.2032.REGULAR *It was seconded and moved **THAT** Council adopt the January 11, 2022 Regular Minutes as presented.*

CARRIED.

7 PUBLIC INPUT & DELEGATIONS

7.1 Public Input

A letter providing input was received in the communityinput@ucluelet.ca inbox regarding the recent Official Community Plan. The author of the letter also attended via Zoom during the public input section of the meeting, but was advised that no further input could be heard as the Public Hearing had already closed. The Public Hearing for the OCP was held on Thursday, January 20, 2022.

There were no delegations.

8 UNFINISHED BUSINESS

There was no unfinished business.

9 COMMITTEE OF THE WHOLE

It was moved and seconded THAT Council go into a Committee of the Whole at 4:08 PM to discuss Items 9.1 and 9.2 on the agenda.

9.1 **Barkley Community Forest Funds** **Duane Lawrence, Chief Administrative Officer**

Mr. Lawrence provided a summary of his report. A report regarding the amount of funds that are received annually from MRDT and RMI will be presented at a future meeting. The Committee gave general direction to investigate a Barkley Community Forest Legacy Fund and Dedicated Reserve in the form of a bylaw.

9.2 **Hard Sports Surface Facility Direction** **Abby Fortune, Director of Parks and Recreation**

The Director of Recreation provided a summary of the report requesting direction on the size, location and type of replacement facility for the REC Hall. The Committee provided direction to pursue the development of an 8000 sf, fully enclosed facility that could replace the existing Rec Hall and that the preferred location would be Tugwell fields. The

Committee also confirmed their desire to see increased community consultation and engagement during the design process.

2022.2033.REGULAR *It was moved and seconded **THAT** the Committee of the Whole portion of the meeting be adjourned at 4:52 PM to return to the Regular Meeting.*
CARRIED.

10 BYLAWS

10.1 Ucluelet Official Community Plan Bylaw No. 1236, 2020 Bruce Greig, Director of Community Planning

Mr. Greig presented a brief summary of this report.

2022.2034.REGULAR *It was moved and seconded **THAT** Council move Option A, to:*

1. amend District of Ucluelet Official Community Plan Bylaw No. 1236, 2020, to incorporate the edits as presented in draft 7.4 as described in the staff report dated January 25, 2022;
2. give District of Ucluelet Official Community Plan Bylaw No. 1236, 2020 third reading as amended; and
3. adopt District of Ucluelet Official Community Plan Bylaw No. 1236, 2020.

CARRIED.

10.2 Zoning Amendment Bylaw No. 1299 - 312 Pass Of Melfort Place Bruce Greig, Director of Community Planning

2022.2035.REGULAR *It was moved and seconded **THAT** Council move Option A, to:*

1. give Zoning Amendment Bylaw No. 1299, 2021 third reading; and
2. adopt Zoning Amendment Bylaw No. 1299, 2021.

CARRIED.

101 Revenue Anticipation Borrowing Bylaw No. 1301, 2022 - Adoption Paula Mason, Manager of Corporate Services

Ms. Mason presented this adoption report.

2022.2036.REGULAR *It was moved and seconded **THAT** Council approve Option A, to adopt District of Ucluelet Revenue Anticipation Borrowing Bylaw No.1301, 2022 as presented.*
CARRIED.

11 REPORTS

11.1 Ucluelet Health Centre Initiative Duane Lawrence, Chief Administrative Officer

Mr. Lawrence presented this report seeking direction from Council regarding entering into discussions with the Alberni Clayoquot Regional

Hospital District, to consolidate Ucluelet's health services into a single health facility within the District of Ucluelet.

2022.2037.REGULAR *It was moved and seconded **THAT** Council approve Option A, to enter into discussions with the Alberni Clayoquot Regional Hospital District to consolidate Ucluelet's health services into a single health facility within the District of Ucluelet.*

CARRIED.

**11.2 Final Report - 2021 West Coast Housing Needs Assessment
Bruce Greig, Director of Community Planning**

Council received this report as presented by Mr. Sandy MacKay, MPlan, Housing Research & Policy Lead for M'akola Development Services.

12 NOTICE OF MOTION

There were no Notices of Motions.

13 CORRESPONDENCE

**13.1 Guiding Lights Across BC - Feb 22 2022
Isabella Lee, BC Public Relations and Communications Adviser,
BC Council, Girl Guides of Canada**

2022.2038.REGULAR *It was moved and seconded **THAT** Council direct Staff to light up our District of Ucluelet sign at the junction with blue lights on February 22, 2022 in support of the Guiding Lights Across British Columbia initiative organized by Girl Guides of Canada.*

CARRIED.

**13.2 Update from DFO on Aquaculture Initiatives, Area-Based
Aquaculture Management Information, Finfish License
Consultation
Director Ian Morrison, President, AVICC**

**13.3 AVICC 3rd Call for 2022 Resolutions and Nominations for AVICC
Executive
AVICC Executive**

**13.4 BC Hydro Community ReGreening Program Update
Ted Olynyk, Mgr, Community Relations, Vancouver Island -
Sunshine Coast**

**13.5 December 2021 Regional Meetings with Minister Josie Osborne
and Minister Murray Rankin
Tara Faganello, Assistant Deputy Minister, Ministry of Municipal
Affairs**

**13.6 International PURPLE DAY® for Epilepsy Awareness - March 26,
2022**

Deirdre Syms, Interim Executive Director, BC Epilepsy Society

2022.2039.REGULAR *It was moved and seconded **THAT** Council direct Staff to light up our District of Ucluelet sign at the junction with purple lights on March 26, 2022 in support of the International PURPLE DAY® for Epilepsy Awareness.*

CARRIED.

13.7 Engagement on updates to British Columbia's Geographical Naming Principles, Policy and Procedures
Richard Linzey, Director, Heritage Branch, Ministry of Forests, Lands, Natural Resource Operations and Rural Development

13.8 Sort'nGo Organics is Rolling up to West Coast curbs this November
Jodie Frank, ACRD Organics Coordinator, ACRD

13.9 Island Health information bulletin: Island Health adjusting services to strengthen patient safety
Andrew Leyne, Island Health Media Relations

13.10 Seeking your support for TELUS's application to provide improved connectivity to Highway 4 under the Connecting British Columbia Program
Shaye Draper, General Manager, Customer Solutions Delivery, TELUS

2022.2040.REGULAR *It was moved and seconded **THAT** Council approve the issuance of a letter of support with respect to Telus's application to the BC Economic Recovery Intake Fund and Connecting BC Program in order to provide increased connectivity along the Highway 4 corridor between Port Alberni and Ucluelet.*

CARRIED.

14 INFORMATION ITEMS

14.1 Resolution Tracking - January 2022
Paula Mason, Manager of Corporate Services

14.2 Public Works Water Main Break Update (verbal report)
James MacIntosh, Director of Engineering Services

Mr. MacIntosh provided a detailed progress report on the repairs of the recent Water Main break affecting Yuułuᓃiᓴᓴath.

15 MAYOR'S ANNOUNCEMENTS**16 COUNCIL COMMITTEE REPORTS**

16.1 Councillor Marilyn McEwen
Deputy Mayor January 1 - March 15, 2022

Attending Vancouver Island Regional Board AGM on Saturday, January 29, 2022

16.2 Councillor Lara Kemps
Deputy Mayor March 16 - May 31, 2022

Attended the Ucluelet Chamber of Commerce meeting
Attending a meeting with SD70 recruiter on January 26, 2022

16.3 Councillor Jennifer Hoar
Deputy Mayor June 1 - August 15, 2022

Attended the Wild Pacific Trail Society meeting on January 12, 2022

16.3 Councillor Rachelle Cole
Deputy Mayor August 16 - October 31, 2022

Attended the ACRD with Regional Hospital meeting
Attended the Alberni Health Network meeting

16.4 Mayor Mayco Noël

17 QUESTION PERIOD

171 An email was received in the communityinput@ucluelet.ca inbox, from Nora O'Malley of the Westerly News newspaper, asking when the water main was last inspected. The Director of Engineering Services advised that his department will be looking into the maintenance history of the water line in the coming weeks.

17 ADJOURNMENT

The meeting was adjourned at 6:10 PM.

CERTIFIED CORRECT: Minutes of the Regular Council Meeting held on Tuesday, January 25, 2022 at 4:00 pm in the George Fraser Room, Ucluelet Community Centre, 500 Matterson Road, Ucluelet, BC.

Mayco Noël, Mayor

Paula Mason, Deputy Corporate Officer

**DISTRICT OF UCLUELET**Request to Appear as a Delegation

RECEIVED
FEB 04 2022

District of Ucluelet

All delegations requesting permission to appear before Council are required to submit a written request or complete this form and submit all information or documentation by 11:00 a.m. the Wednesday preceding the subsequent Council meeting. Applicants should include the topic of discussion and outline the action they wish Council to undertake.

All correspondence submitted to the District of Ucluelet in response to this notice will form part of the public record and will be published in a meeting agenda. Delegations shall limit their presentation to ten minutes, except by prior arrangement or resolution of Council.

Please arrive 10 minutes early and be prepared for the Council meeting. The Mayor (or Acting Mayor) is the chairperson and all comments are to be directed to the chairperson. It is important to address the chairperson as Your Worship or Mayor Noël.

The District Office will advise you of which Council meeting you will be scheduled for if you cannot be accommodated on your requested date. For more information contact the District Office at 250-726-7744 or email info@ucluelet.ca.

Requested Council Meeting Date: Feb 15, 2022

Organization Name: Ucluelet Concerned Citizens

Name of person(s) to make presentation: Jeanne Ferris and Rina Vigneault

Topic: Communicating with Council

Purpose of Presentation: Information only
 Requesting a letter of support
 Other (provide details below)

Please describe:

Introduce a new group and short presentation

Contact person (if different from above): _____

Telephone Number and Email: 250 730 4249 & 250 726 7341

Will you be providing supporting documentation? Yes No

If yes, what are you providing?

Handout(s)
 PowerPoint Presentation

Note: Any presentations requiring a computer and projector/screen must be provided prior to your appearance date. The District cannot accommodate personal laptops.

UCC Group 's Presentation for the February 22,2022



Barb Forest

- 1- Introducing our new group
- 2- Meeting with a planner as a group
- 3- We have been actively engaged with other residents and have a letter circulating in town.
- 4- We are asking for a councilor to attend our meetings when we have one. We would be in touch with this councilor when we would have a meeting, as we don't have meeting on a weekly basis.
- 5- We are asking for a councilor to have another open house for public input.



REPORT TO COUNCIL

Council Meeting: February 22, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: PAULA MASON, MANAGER OF CORPORATE SERVICES **FILE NO:** 3900-20
SUBJECT: SINGLE-USE ITEM REGULATION BYLAW AMENDMENT NO. 1298, 2022 **REPORT NO:** 22- 17
ATTACHMENT(S): Appendix A: SINGLE-USE ITEM REGULATION AMENDMENT BYLAW NO. 1298, 2022
 Appendix B: RED-LINED VERSION OF SINGLE-USE ITEM REGULATION BYLAW NO. 1266, 2020
 Appendix C: MINISTERIAL ORDER M309
 Appendix D: BYLAW COMPLIANCE REPORT – SURFRIDER FOUNDATION PACIFIC RIM

RECOMMENDATION(S):

THAT Council approve Option A, to give Single-Use Item Regulation Amendment Bylaw No. 1298, 2022 first, second and third readings as presented.

BACKGROUND:

On July 26, 2021, Ministerial Order M309 amended section 8(3)(j) of the *Community Charter*, providing municipalities the authority to make a bylaw to regulate, prohibit and impose requirements in relation to the protection of the natural environment. The order specifically speaks to the regulation of the following single-use items:

- a) Checkout bags;
- b) Polystyrene foam service ware containers;
- c) Plastic utensils; and
- d) Plastic Drinking Straws

District of Ucluelet Single-Use Plastic Regulation Bylaw No. 1266, 2020 (the “Bylaw”) currently regulates the provision of checkout bags, polystyrene foam service ware containers and plastic straws. It does not include the regulation of plastic utensils. To clarify, Ministerial Order No. M309 defines the word utensil as “includes a spoon, fork, knife, chopstick or stir stick”.

On October 12, 2021 Council directed Staff to present amendments to the Bylaw, that regulate the provision of plastic and bioplastic utensils and stir sticks. While preparing the bylaw amendment, Staff noted various areas of the Bylaw that it would be beneficial to update, including but not limited to:

- a) the insertion of additional definitions, for clarity within the document;
- b) the updating and addition of wording that ensures our compliance with recent legislation; and
- c) the updating of sections that repeated previously addressed content.

A red-lined version highlighting the changes in detail is attached to this report. A copy of Ministerial Order M309 is also attached for reference.

In accordance with s. (6)(c) of Ministerial Order M309, Staff propose that Single-Use Item Regulation Amendment Bylaw No. 1298, 2022 come into force and effect six (6) months from the date of its adoption. This will provide a transitional time-period for the business community to adjust their current practices, educate staff, use up any existing stocks of plastic utensils they may have on hand, and source out appropriate and available product alternatives.

During this six (6) month transitional time-period, Staff will continue to work with Surfrider Pacific Rim (“SPR”) to ensure the newest “Cut the Cutlery” campaign becomes a familiar and welcomed addition to our business and residential community. Our roll-out plan includes but is not limited to the following:

- a) the disbursement of updated print materials to businesses (ie. Front Counter tent cards, “What Businesses need to Know”, “Tips for Staff”, “Tips for Businesses” and “Tips for Visitors” handout sheets) supplied by SPR
- b) the use of social media to highlight the addition of the “Cut the Cutlery” campaign to our community
- c) a new website page on Ucluelet.ca that offers News and Facts regarding how our municipality embraces Sustainability and Environmental Stewardship, and features initiatives such as local composting/recycling programs and campaigns, such as the ones addressed in our Single-Use Item Regulation Bylaw. Print materials will also be available for businesses to download from this page.
- d) the addition of information to Business License applicants, advising them that our municipality has a ban on single-use items as defined in the bylaw. This will ensure that either businesses who are new, or existing businesses that may be changing owners, are aware of what products not to order prior to being granted a business license, thus decreasing the possibility of wasted resources.

From the date the amendment bylaw comes into force and effect, District of Ucluelet Bylaw Enforcement staff will become responsible for the enforcement of the new regulations. The fees and penalties associated with offences, will be presented as part of a proposed amendment to the Municipal Ticket Information System Bylaw No. 949, 2004, at a future meeting of Council.

ANALYSIS OF OPTIONS

A	Give first, second and third readings to the bylaw amendment as presented.	<u>Pros</u>	<ul style="list-style-type: none"> • Promotion of more widely used sustainable resources • Participation in the province-wide approach to reduce the use of plastic utensils in municipalities • Update our existing single-use regulations in accordance with recently updated legislation • Set a leading example for other BC communities to follow • Reduce even further the waste stream currently going to our regional landfill • Adhere to Objective 2D of our OCP which states “to work with and support other agencies who share the community’s goal of protecting our environment” • To avail of resources <i>currently</i> being offered by SPR to help educate our community • Bringing the same information to all our West Coast communities at the same time, will ensure the conveyance of consistent campaigning and education, which means a higher chance of success
		<u>Cons</u>	<ul style="list-style-type: none"> • It will take time to educate staff, residents and businesses

		<ul style="list-style-type: none"> Potential resistance from businesses who do not prioritize environmental best practices
	<u>Implications</u>	<ul style="list-style-type: none"> Print materials used for the education of the public have already been funded Staff time to update our website with new regulation
B	<u>Pros</u>	<ul style="list-style-type: none"> This provides Council the opportunity to consider any potential issues or corrections they feel are needed, that may not have been thought of by staff
	<u>Cons</u>	<ul style="list-style-type: none"> It will delay the campaign of educating the public from getting started
	<u>Implications</u>	<ul style="list-style-type: none"> Waiting additional time may compromise the continued extension of campaigning and print materials by SPR, thus incurring more cost for the District to continue the initiative without their help
	<u>Suggested Motion</u>	<p>THAT Council approve Option B, to direct Staff to amend Single-Use Item Regulation Amendment Bylaw No. 1298, 2022, section _____ by inserting/striking the words _____ and inserting the words _____ in its place; and</p> <p>THAT Council give Single-Use Plastic Regulation Amendment Bylaw No. 1298, 2022 first and second readings as amended.</p>
C	<u>Pros</u>	<ul style="list-style-type: none"> No further work would be required.
	<u>Cons</u>	<ul style="list-style-type: none"> The local proactive approach to increased environmental awareness and community sustainability would be decreased Will be out of synch with other west coast communities Would not be able to utilize SPR to educate the public on the initiative Communities throughout BC would continue to advance their single-use item regulations and Ucluelet would no longer retain its name as a leader in sustainability
	<u>Implications</u>	<ul style="list-style-type: none"> Increased staff time to conduct community education on any future bylaw updates.
	<u>Suggested Motion</u>	No motion is required.

POLICY OR LEGISLATIVE IMPACTS:

As shown on the Government of BC's [Environmental Protection and Sustainability](#) website page, with Council's guidance, the District of Ucluelet will be one of the first municipalities to regulate every single-use item suggested in Ministerial Order M309. The continued regulation of these items (and future items) by our Council, supports the ongoing efforts of CleanBC's [Plastics Action Plan](#) as well as initiatives brought forth in Ucluelet's recently adopted [Climate Change Adaptation Plan](#) and [Official Community Plan](#).

NEXT STEPS

- If given first, second and third readings today, Bylaw No. 1298, 2022 will be brought back for consideration and adoption at a future meeting of Council.
- Once the bylaw is adopted, we will notify the Ministry of Environment and Climate Change Strategy to that fact and will advise them of the items being regulated, as well as the implementation date.
- An awareness campaign will be launched to encourage behavioural change and to help businesses prepare for, comply with, and communicate the upcoming requirements to their staff and customers.

Respectfully submitted:

PAULA MASON, MANAGER OF CORPORATE SERVICES
DUANE LAWRENCE, CAO

DISTRICT OF UCLUELET**Bylaw No. 1298, 2022**

A bylaw to amend District of Ucluelet Single-Use Item Regulation Bylaw No. 1266, 2020

WHEREAS the *Community Charter* authorizes a council to regulate in relation to protection of the natural environment with approval from the minister responsible;

AND WHEREAS the Council of the District of Ucluelet wishes to establish a bylaw to reduce the creation of waste from single-use items and the associated municipal costs to better steward municipal property, including sewers, streets, parks, beaches and waterways;

AND WHEREAS the Council of the District of Ucluelet wishes to promote responsible and sustainable environmental practices that are consistent with the values of the community;

NOW THEREFORE the Council of the District of Ucluelet, in open meeting, enacts as follows:

1. CITATION

This Bylaw may be cited for all purposes as the “District of Ucluelet Single-Use Item Regulation Amendment Bylaw No. 1298, 2022”.

2. PURPOSE

This bylaw amends the parent bylaw entitled “District of Ucluelet Single-Use Item Regulation Bylaw No. 1266, 2020” and all its amending bylaws.

3. AMENDMENTS

Bylaw No. 1266, 2020 is hereby amended by inserting, striking and inserting, or deleting words in the sections and subsections stated below:

Definitions**Insert**

- (i) “Bylaw Enforcement Officer” means, for the purpose of this bylaw, any of the following:
 - (a) Chief Administrative Officer or his designate;
 - (b) Bylaw Enforcement Officer or his designate;
 - (c) Manager/Director of Community Planning or his designate.
- (ii) “Item” means the applicable of the following:
 - (a) a bag;
 - (b) a service ware container;
 - (c) a utensil;
 - (d) (d) a drinking straw;
- (iii) “Plastic” includes all compostable and biodegradable plastic(s)
- (iv) “Reusable bag” means a bag that is used for the purpose of transporting items by the customer from a Business, and is designed and manufactured to be used at least 100 times;

- (v) “Single-use”, when used in reference to an item, means the item is provided for a single use or a short-term purpose;
- (vi) “Small Paper Bag” means any bag made out of paper that is less than 15 centimeters by 20 centimeters when flat;
- (vii) “Small Plastic Bag” means any bag made out of plastic that is less than 15 centimeters by 20 centimeters when flat;
- (viii) “Utensil” includes a spoon, fork, knife, chopstick or stir stick

Strike

- (i) “Reusable Bag” means a bag with handles that is for the purpose of transporting items by the customer from a Business and is designed and manufactured to be capable of at least 100 uses;
- (ii) “Small Paper Bag” means any bag made out of paper that is less than 15 centimeters by 30 centimeters when flat;
- (iii) “Small Plastic Bag” means any bag made out of plastic that is less than 15 centimeters by 30 centimeters when flat;

Regulation

Insert

- (i) (1)(d) Plastic Utensil
- (ii) (4) No Business shall deny or discourage a customer from using their own drinking straw, plastic utensil or reusable checkout bag.

Strike

- (i) (4) No Business shall deny or discourage a customer from using their own Checkout Bag or drinking straw.

Exemptions

Insert

- (i) (3) Section 3 does not apply to Plastic Drinking Straws or Plastic Utensils provided on request by customers with disabilities or due to medical reasons.
- (ii) (4) This bylaw does not apply to the sale of single-use items that are sold as a product, ordinarily in sets of multiple items.
- (iii) (5) This bylaw does not apply to
 - (a) a hospital or any facility licensed as a community care facility under the *Community Care and Assisted Living Act*, or
 - (b) people experiencing financial hardship,

Strike

- (i) (3) Section 3 does not apply to Plastic Drinking Straws provided by request to customers with an accessibility need, and customers shall not be required to provide any medical information to prove their need.
- (ii) (4) The Bylaw does not apply to the sale of Plastic Bags intended for use at the customer’s home or business, provided they are prepackaged and sold in packages of multiple bags.
- (iii) (5) The Bylaw does not apply to the sale of Plastic Drinking Straws intended for use in the customer’s home or business, provided they are sold in packages of multiple straws.

- (iv) (6) Notwithstanding section 3(2) and 3 (3), a Business may provide a Checkout Bag without asking and free of charge if the bag has been donated to the Business for the purpose of being reused by other customers, and:
 - (a) the bag has already been used by a customer; or
 - (b) in the case of a Reusable Bag, the bag is made from 100% recycled materials.

Offence

Insert

- (i) (1) Every person who contravenes any provision of the Bylaw, or who suffers or permits any act or thing to be done in contravention of this Bylaw, or who refuses, omits, or neglects to fulfill, observe, carry out, or perform a duty or obligation imposed by this Bylaw, shall be deemed to have committed an offence against this Bylaw and:
 - (a) Shall be liable to a penalty as set out in the “Municipal Ticket Information System Bylaw No. 949, 2004” as amended from time to time;
 - (b) Shall be liable, upon summary conviction, to the penalties provided under the “Offense Act” and amendments thereto; or
 - (c) Any combination of (a) and (b).
- (ii) (2) Each instance that a contravention of a provision of this Bylaw occurs and each day that a contravention continues shall constitute a separate offence.

Strike

- (i) (1) A person commits an offence and is subject to the penalties imposed by this Bylaw, and the Offence Act if that person;
 - (a) Contravenes a provision of this Bylaw;
 - (b) Consents to, allows, or permits an act or thing to be done contrary to this Bylaw; or
 - (c) Neglects or refrains from doing anything required by a provision of this Bylaw.
- (i) (2) Each day that a contravention of a provisions of this Bylaw occurs or continues shall constitute a separate offence

Enforcement

Strike

- (i) (4) Every person who contravenes any provision of this Bylaw, or who suffers or permits any act or thing to be done in contravention of this Bylaw, or who refuses, omits, or neglects to fulfil, observe, carry out, or perform a duty or obligation imposed by this Bylaw, shall be deemed to have committed an offence against this Bylaw and:
 - a. shall be liable to a fine set out in “Schedule A” attached hereto and forming part of this Bylaw, as amended from time to time;
 - b. shall be liable to a penalty set out in the “Municipal Ticket Information System Bylaw No. 949, 2004” as amended from time to time;
 - c. shall be liable, upon summary conviction, to the penalties provided under the “Offence Act” and amendments thereto; or
 - d. any combination of 6 (4) (a), (b), and (c).
- (ii) (5) This section will now be numbered as section (4).

Schedules**Strike**

Schedule "A" Fines and Penalties

Severability**Insert**

- (i) If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remaining portions of this bylaw.

Strike

- (i) If any provision of the Bylaw is held to be invalid by any court of competent jurisdiction, that provision shall be severed, and its severance shall not affect the validity of the remainder of the Bylaw.

4. EFFECTIVE DATE

This bylaw shall come into force and effect upon the date of adoption, excepting that which pertains to plastic utensils, which shall come into force and effect six (6) months from the date of adoption.

READ A FIRST TIME this ____ day of _____, _____.

READ A SECOND TIME this ____ day of _____, _____.

READ A THIRD TIME this ____ day of _____, _____.

ADOPTED this ____ day of _____, _____.

CERTIFIED TRUE AND CORRECT COPY of "District of Ucluelet Single-Use Item Regulation Amendment Bylaw No. 1298, 2022".

Mayco Noël
Mayor

Paula Mason
Deputy Corporate Officer

THE CORPORATE SEAL of the
District of Ucluelet was hereto affixed
in the presence of:

Paula Mason
Deputy Corporate Officer

DISTRICT OF UCLUELET

BYLAW NO. 1266, 2020

A bylaw to regulate single-use items.

WHEREAS the *Community Charter* authorizes a council to regulate in relation to protection of the natural environment with approval from the minister responsible;

AND WHEREAS the Council of the District of Ucluelet wishes to establish a bylaw to reduce the creation of waste from single-use items and the associated municipal costs to better steward municipal property, including sewers, streets, parks, beaches and waterways;

AND WHEREAS the Council of the District of Ucluelet wishes to promote responsible and sustainable environmental practices that are consistent with the values of the community;

NOW THEREFORE the Council of the District of Ucluelet, in open meeting, enacts as follows:

1. Citation

This Bylaw may be cited for all purposes as the “District of Ucluelet Single-Use Item Regulation Bylaw No. 1266, 2020.”

2. Definitions

For the purpose~~h~~ of this Bylaw:

“Bylaw Enforcement Officer” means any of the following:

- (a) Chief Administrative Officer or his designate;
- (b) Bylaw Enforcement Officer or his designate;
- (c) Manager/Director of Community Planning or his designate.

“Checkout Bag” means:

- (a) any bag that is intended for the purpose of transporting items received by a customer from a Business;
- (b) and includes Paper Bags, Plastic Bags, or Reusable Bags;

“Business” means any person, organization, or group engaged in a trade, business, profession, occupation, calling, employment or purpose that is regulated under the Ucluelet Business Regulation and Licensing Bylaw No. 922, 2003, as amended from time to time or any successor legislation to that bylaw and, for the purposes of section 3, includes a person employed by, or operating on behalf of, a Business;

“Drinking Straw” means a tube used to transfer a beverage from a container to the mouth of the individual drinking the beverage by suction;

Formatted: No Spacing, Right: 0 cm, Space After: 6 pt, Numbered + Level: 1 + Numbering Style: a, b, c, ... + Start at: 1 + Alignment: Left + Aligned at: 1.25 cm + Indent at: 1.88 cm, Tab stops: 1.25 cm, Left

Formatted: Font: (Default) +Headings (Calibri Light)

Formatted: Normal

“Food Service Ware” means products used for serving or transporting prepared food or beverages including, but not limited to, plates, cups, bowls, trays, and hinged or lidded containers;

“Item” means the applicable of the following:

- (a) a bag;
- (b) a service ware container;
- (c) a utensil;
- (d) a drinking straw;

Formatted: Indent: Left: 0.75 cm

Formatted: Indent: Hanging: 1 cm

Formatted: Indent: Hanging: 1 cm

“Paper Bag” means a bag made out of paper, but does not include a Small Paper Bag;

“Plastic Bag” means any bag made with plastic, including biodegradable plastic or compostable plastic, but does not include a Reusable Bag or a Small Plastic Bag;

“Plastic” includes all compostable and biodegradable plastic(s).

“Plastic Drinking Straw” means a straw made primarily of plastic, including biodegradable or compostable plastic;

“Polystyrene Foam” means blown polystyrene and expanded and extruded foams composed of thermoplastic petrochemical materials containing a styrene monomer and processed by any technique including, but not limited to, fusion of polymer spheres (expandable bead form), injection molding, foam molding, and extrusion-blown molding (extruded foam polystyrene);

“Prepared Food” means any food or beverage prepared for consumption by a Business at a licenced premises or location, using any cooking or preparation technique. Prepared Food does not include any raw or uncooked food, including meat, poultry, fish, seafood, or vegetables, unless provided for consumption without further preparation;

~~“Reusable Bag” means a bag with handles that is for the purpose of transporting items purchased by the customer from a Business and is designed and manufactured to be capable of at least 100 uses;~~

Formatted: Strikethrough

“Reusable bag” means a bag that is used for the purpose of transporting items by the customer from a Business, and is designed and manufactured to be used at least 100 times;

“Single-use”, when used in reference to an item, means the item is provided for a single use or a short-term purpose;

“Small Paper Bag” means any bag made out of paper that is less than 15 centimetres by ~~3~~20 centimetres when flat;

“Small Plastic Bag” means any bag made out of plastic that is less than 15 centimetres by

320 centimetres when flat;

"Utensil" includes a spoon, fork, knife, chopstick or stir stick

Formatted: No Spacing

Formatted: No Spacing, Left, Indent: Left: 0.75 cm, Right: 0 cm, Space Before: 0 pt, Add space between paragraphs of the same style

3. Regulation

- (1) Except as provided in this Bylaw, no Business may provide a customer with any of the following items:
 - (a) Checkout Bag
 - (b) Plastic Drinking Straw
 - (c) Polystyrene Foam Food Service Ware for Prepared Foods
 - ~~(e)~~(d) Plastic Utensil
- (2) A Business may provide a Checkout Bag to a customer only if:
 - (a) the customer is first asked whether they need a bag;
 - (b) the bag provided is a Paper Bag or a Reusable Bag; and
 - (c) the customer is charged a fee not less than:
 - i. \$0.25 per Paper Bag; and
 - ii. \$2.00 per Reusable Bag.
- (3) For certainty, no Business may:
 - (a) sell or provide to a customer any of the items listed in section (1) except as provided by this Bylaw; or
 - (b) provide a Checkout Bag to a customer free of charge.

Formatted: Font: (Default) +Headings (Calibri Light)

~~(4) No Business shall deny or discourage a customer from using their own Checkout Bag or drinking straw.~~

Formatted: Strikethrough

Formatted: Font: Bold

(4) No Business shall deny or discourage a customer from using their own drinking straw, plastic utensil or reusable checkout bag.

Formatted: Indent: Left: 1.75 cm, No bullets or numbering

Formatted: Indent: Left: 0.75 cm, Hanging: 1 cm, Numbered + Level: 1 + Numbering Style: 1, 2, 3, ... + Start at: 4 + Alignment: Left + Aligned at: 1.9 cm + Indent at: 2.54 cm

Formatted: Font: (Default) +Headings (Calibri Light), Bold

4. Exemptions

- (1) Section 3 does not apply to Small Paper Bags or Small Plastic Bags used to:
 - (a) -package loose bulk items such as fruit, vegetables, nuts, grains, and candy;
 - (b) package loose small hardware items such as nails and bolts;
 - (c) contain or wrap frozen foods, meat, poultry, or fish, whether pre-packaged or not;
 - (d) wrap flowers or potted plants;
 - (e) protect prepared foods or bakery goods that are not pre-packaged; or
 - (f) contain prescription drugs received from a pharmacy;
- (2) Section 3 does not apply to Plastic Bags used to protect linens, bedding, construction materials or other similarly large items that cannot easily fit in a Reusable Bag.

~~(3) Section 3 does not apply to Plastic Drinking Straws provided by request to~~

Formatted: Strikethrough

Single-Use Plastic-Item Regulation Bylaw No. 1266, 2020

Page 3

customers with an accessibility need, and customers shall not be required to provide any medical information to prove their need.

- (4) ~~This Bylaw does not apply to the sale of Plastic Bags intended for use at the customer's home or business, provided they are prepackaged and sold in packages of multiple bags.~~
- (5) ~~This Bylaw does not apply to the sale of Plastic Drinking Straws intended for use in the customer's home, provided they are sold in packages of multiple straws.~~
- (6) ~~Notwithstanding section 3(2) and 3(3), a Business may provide a Checkout Bag without asking and free of charge if the bag has been donated to the Business for the purpose of being reused by other customers, and:

 - (a) ~~the bag has already been used by a customer; or~~
 - (b) ~~in the case of a Reusable Bag, the bag is made from 100% recycled materials.~~~~

(3) Section 3 does not apply to Plastic Drinking Straws or Plastic Utensils provided on request by customers with disabilities or due to medical reasons.

(4) This bylaw does not apply to the sale of single-use items that are sold as a product, ordinarily in sets of multiple items.

(5) This bylaw does not apply to:

- (a) a hospital or any facility licensed as a community care facility under the Community Care and Assisted Living Act, or
- (b) people experiencing financial hardship.

Formatted: Indent: Left: 0.63 cm, No bullets or numbering

Formatted: Indent: Left: 0 cm, Hanging: 0.5 cm, No bullets or numbering

Formatted: Indent: Left: 0.5 cm, No bullets or numbering

Formatted: Indent: Left: 1.27 cm, No bullets or numbering

5. Offence

- (1) ~~A person commits an offence and is subject to the penalties imposed by this Bylaw, and the Offence Act if that person:

 - (a) ~~contravenes a provision of this Bylaw;~~
 - (b) ~~consents to, allows, or permits an act or thing to be done contrary to this Bylaw; or~~
 - (c) ~~neglects or refrains from doing anything required by a provision of this Bylaw.~~~~

Formatted: Strikethrough

~~(2) Each day that a contravention of a provision of this Bylaw occurs or continues shall constitute a separate offence.~~

(1) Every person who contravenes any provision of the Bylaw, or who suffers or permits any act or thing to be done in contravention of this Bylaw, or who refuses, omits, or neglects to fulfill, observe, carry out, or perform a duty or obligation imposed by this Bylaw, shall be deemed to have committed an offence against this Bylaw and:

Formatted: Not Highlight

- (a) Shall be liable to a penalty as set out in the "Municipal Ticket Information System Bylaw No. 949, 2004" as amended from time to time;

- (b) Shall be liable, upon summary conviction, to the penalties provided under the "Offense Act" and amendments thereto; or
(c) Any combination of (a) and (b).

Formatted: Not Highlight

Formatted: Indent: Left: 2.75 cm, Hanging: 0.5 cm

Formatted: Not Highlight

- ~~(2)~~ (2) Each instance that a contravention of a provision of this Bylaw occurs and each day that a contravention continues shall constitute a separate offence.

Formatted: No Spacing, Indent: Left: 0.5 cm, Hanging: 1 cm, Space After: 6 pt, No bullets or numbering

6. Enforcement

- (1) Bylaw Enforcement Officers of the District of Ucluelet are responsible for the enforcement and administration of this Bylaw.
- (2) For the purposes of this Bylaw, the designated Bylaw Enforcement Officer means any of the following:
 - (a) Chief Administrative Officer or his designate;
 - (b) Bylaw Enforcement Officer or his designate;
 - (c) Manager of Community Planning or his designate.
- (3) No person shall unreasonably obstruct or prevent a Bylaw Enforcement Officer from carrying out his or her duties as prescribed in this Bylaw. The Bylaw Enforcement Officer is authorized and empowered to inspect, compel and require that all the regulations and provisions in this Bylaw are carried out.

- ~~(4) Every person who contravenes any provision of this Bylaw, or who suffers or permits any act or thing to be done in contravention of this Bylaw, or who refuses, omits, or neglects to fulfil, observe, carry out, or perform a duty or obligation imposed by this Bylaw, shall be deemed to have committed an offence against this Bylaw and:~~

Formatted: Strikethrough

- ~~(a) shall be liable to a fine set out in "Schedule A" attached hereto and forming part of this Bylaw, as amended from time to time;~~
- ~~(b) shall be liable to a penalty set out in the "Municipal Ticket Information System Bylaw No. 949, 2004" as amended from time to time;~~
- ~~(c) shall be liable, upon summary conviction, to the penalties provided under the "Offence Act" and amendments thereto; or~~
- ~~(d) any combination of 6 (4) (a), (b), and (c).~~

- (5) The intent of this Bylaw is to set standards of general public interest, and not to impose a duty on the District of Ucluelet or its employees to enforce its provisions and:
 - (a) a failure to administer or enforce its provisions or the incomplete or inadequate administration or enforcement of its provisions is not to give rise to a cause of action in favour of any person; and
 - (b) the grant of any approval or permission or issuance of any permit is not a representation, warranty or statement of compliance with the Bylaw and the issuance thereof in error is not to give rise to a cause of action.

Formatted: Font: +Headings (Calibri Light)

7. Severability

~~If any provision of this Bylaw is held to be invalid by any court of competent jurisdiction, that provision shall be severed and its severance shall not affect the validity of the remainder of the Bylaw.~~

Formatted: Strikethrough

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remaining portions of this bylaw.

8. Effective Date

This bylaw shall come into force and effect upon the date of adoption, excepting for that which pertains to plastic utensils which shall come into force and effect six (6) months from the date of adoption.

Formatted: Indent: Left: 0.75 cm

~~This Bylaw comes into force upon adoption, except section 3(1)(c) which comes into force six months thereafter.~~

9. Repeal

“District of Ucluelet Single-Use Plastic Regulation Bylaw No. 1247, 2019” is hereby repealed.

READ A FIRST TIME this 11th day of February, 2020.

READ A SECOND TIME this 11th day of February, 2020.

READ A THIRD TIME this 11th day of February, 2020.

THIRD READING RESCINDED this 12th day of March, 2020.

THE AMENDED BYLAW WAS READ A THIRD TIME this 12th day of March, 2020.

APPROVED BY THE MINISTRY OF ENVIRONMENT AND CLIMATE CHANGE STRATEGY this 10th day of September, 2020.

NOTICE GIVEN UNDERS SECTION 59(2)(A) AND (3) OF THE COMMUNITY CHARTER on this 7th day of February, 2020 and this 10th day of March, 2020.

OPPORTUNITY TO MAKE REPRESENTATIONS TO COUNCIL UNDER SECTION 59(2)(B) PROVIDED this 11th day of February, 2020 and this 12th day of March, 2020.

ADOPTED this this 13th day of October, 2020.

CERTIFIED A TRUE AND CORRECT COPY of the "District of Ucluelet Single-Use Item Regulation Bylaw No. 1266, 2020."

Mayco Noël
Mayor

Mark Boysen
Corporate Officer

THE CORPORATE SEAL of the
District of Ucluelet was hereto
affixed in the presence of:

Mark Boysen
Corporate Officer

SCHEDULE "A"
Fines and Penalties

Fines for tickets issued pursuant to this Bylaw shall be as follows:

Description of Offence	Section #	Fine—1 st Offence	Fine—if paid within 7 days	Fine—2 nd and Each Subsequent Offence
Providing a Checkout Bag to a customer except as provided in the bylaw	3(1)(a)	\$100	\$75	\$200
Providing a Plastic Drinking Straw to a customer except as provided in the bylaw	3(1)(b)	\$100	\$75	\$200
Providing a Polystyrene Foam Food Service Ware for Prepared Foods to a customer	3(1)(c)	\$100	\$75	\$200
Denying or discouraging customer's own Checkout Bag or Drinking Straw	3(4)	\$100	\$75	\$200

Formatted: Left, Widow/Orphan control, Hyphenate

Formatted: Widow/Orphan control, Hyphenate

Formatted: Strikethrough

Formatted: Widow/Orphan control, Hyphenate

Formatted: Left, Widow/Orphan control, Hyphenate

Formatted: Strikethrough

Formatted: Widow/Orphan control, Hyphenate

Formatted: Left, Widow/Orphan control, Hyphenate

Formatted: Strikethrough

Formatted: Widow/Orphan control, Hyphenate

Formatted: Left, Widow/Orphan control, Hyphenate

Formatted: Strikethrough

Formatted: Widow/Orphan control, Hyphenate

Formatted: Left, Widow/Orphan control, Hyphenate

Formatted: Strikethrough

Formatted: Widow/Orphan control, Hyphenate

PROVINCE OF BRITISH COLUMBIA

**REGULATION OF THE MINISTER OF
ENVIRONMENT AND CLIMATE CHANGE STRATEGY**

Community Charter

Ministerial Order No. M309

I, George Heyman, Minister of Environment and Climate Change Strategy, order that the Spheres of Concurrent Jurisdiction – Environment and Wildlife Regulation, B.C. Reg. 144/2004, is amended as set out in the attached Schedule.

July 26, 2021

Date



Minister of Environment and Climate Change Strategy

(This part is for administrative purposes only and is not part of the Order.)

Authority under which Order is made:

Act and section: *Community Charter*, S.B.C. 2003, c. 26, s. 9 (4)

Other: M71/2004

R10476196

SCHEDULE

- 1 The Spheres of Concurrent Jurisdiction – Environment and Wildlife Regulation, B.C. Reg. 144/2004, is amended by repealing section 1 and substituting the following:*

PART 1 – INTERPRETATION

Definition

- 1 In this regulation, “**Act**” means the *Community Charter*.

PART 2 – PEST MANAGEMENT

Definitions for Part 2

- 1.1 In this Part:

“**alien invasive species**” means the species listed in sections 1 and 2 of the Schedule;

“**dangerous wildlife**” has the same meaning as in the *Wildlife Act*;

“**excluded pesticide**” has the same meaning as in the Integrated Pest Management Regulation, B.C. Reg. 604/2004.

- 2 The following Part is added:*

PART 3 – PLASTIC WASTE REDUCTION

Definitions for Part 3 and interpretation

- 3 (1) In this Part:

“**accessible straw**” means a drinking straw made wholly of plastic that is not compostable or biodegradable, has a corrugated section that allows the straw to bend and maintain its position and is individually wrapped in paper;

“**checkout bag**” means a paper or plastic single-use supplementary bag;

“**introductory period**” means a period that may be set by a municipality during which there is a reduced minimum charge for the provision of a recycled paper bag or a reusable bag;

“**item**” means the applicable of the following:

- (a) a bag;
- (b) a service ware container;
- (c) a utensil;
- (d) a drinking straw;

“**plastic**” includes compostable and biodegradable plastic;

“**polystyrene foam**”, when used in reference to an item, means an item made primarily of polystyrene foam;

“**recycled paper bag**” means a paper checkout bag that meets the criteria described in subsection (2);

“reusable bag” means a bag that is designed and manufactured to be used and machine-washed at least 100 times;

“service ware container” means a container that is ordinarily provided for service of prepared food or beverages and includes a cup, plate, bowl, tray, carton or lidded container;

“single-use”, when used in reference to an item, means the item is provided for a single use or a short-term purpose;

“small paper bag” means a paper bag that is less than 15 cm by 20 cm when flat;

“stir stick” means an item that is designed and manufactured to stir beverages;

“supplementary”, when used in reference to an item, means an item that is provided to a customer by a business to facilitate the transport of a purchase from the business, or consumption of a product, including prepared food that is purchased for take-out or delivery;

“used bag” means a checkout bag or a reusable bag that has been previously used and is being reused;

“utensil” includes a spoon, fork, knife, chopstick or stir stick.

- (2) In order to be considered recycled for the purposes of this Part, a paper checkout bag must contain at least 40% recycled paper content, and have a reference printed on the outside of the bag to the applicable amount of recycled content with the word “recyclable”.

Application of this Part

- 4 The authority to make a bylaw under section 5 to regulate, prohibit and impose requirements in relation to the protection of the natural environment does not apply to the sale of single-use items that are sold as a product, ordinarily in sets of multiple items.

Authority of municipality

- 5 (1) For the purposes of section 9 (4) (a) (i) of the Act, a municipality may, by bylaw, regulate, prohibit and impose requirements in relation to the protection of the natural environment under section 8 (3) (j) of the Act as set out in this section and in accordance with this Part.
- (2) Subject to subsections (3), (4) and (5), a municipality may, by bylaw, do any of the following:
- (a) prohibit a business from providing any of the following single-use supplementary items:
 - (i) checkout bags other than
 - (A) recycled paper bags, or
 - (B) used bags;
 - (ii) polystyrene foam service ware containers;
 - (iii) plastic utensils;
 - (iv) plastic drinking straws;

- (b) if the municipality has prohibited a business from providing checkout bags under paragraph (a) (i), require that a business provide a recycled paper bag or a reusable bag to a customer only on payment of a minimum charge for each bag, as follows:
 - (i) subject to subparagraph (ii), a charge of at least
 - (A) \$0.25 for each recycled paper bag, and
 - (B) \$2 for each reusable bag;
 - (ii) if the municipality sets an introductory period, a charge during the introductory period of at least
 - (A) \$0.15 for each recycled paper bag, and
 - (B) \$1 for each reusable bag;
 - (c) if paragraph (a) (iii) or (iv) does not apply, require that a business provide the following, as applicable, to a customer only on request by the customer:
 - (i) a single-use utensil;
 - (ii) subject to the exemption under subsection (4), a drinking straw made of a material other than plastic;
 - (d) set out exemptions to the bylaw, including the exemption under subsection (4), if applicable, to the prohibitions and requirements under this subsection;
 - (e) require that a business report to the municipality the distribution of items governed by a bylaw made under this section.
- (3) If a municipality makes a bylaw prohibiting a business from providing checkout bags other than recycled paper bags under subsection (2) (a) (i),
- (a) the bylaw must provide for the payment of a minimum charge for recycled paper bags or reusable bags under subsection (2) (b), and
 - (b) the bylaw must include an exemption from the payment of the minimum charge for the following:
 - (i) used bags;
 - (ii) small paper bags;
 - (iii) in the case of prescribed pharmaceutical drugs or devices, recycled paper bags.
- (4) If a municipality makes a bylaw prohibiting plastic drinking straws under subsection (2) (a) (iv), the bylaw must have an exemption so that businesses would not be prevented from providing an accessible straw on request by a person with disabilities or due to medical reasons.
- (5) The authority of a municipality to make a bylaw under this section does not include the authority to permit businesses to collect, use or disclose personal information for considering a person's entitlement to an exemption in respect of the bylaw.

**Exemptions to be considered and
plan for implementation and enforcement**

- 6 A municipality that intends to make a bylaw under section 5 must

- (a) consider appropriate exemptions in respect of the bylaw, including exemptions for
 - (i) persons with disabilities,
 - (ii) medical reasons,
 - (iii) a hospital or any facility licensed as a community care facility under the *Community Care and Assisted Living Act*, and
 - (iv) in the case of a charge referred to in section 5 (2) (b), reasons of financial hardship,
- (b) establish a plan for
 - (i) implementation of the bylaw, which may include setting an introductory period of not more than 12 months for the charge referred to in section 5 (2) (b) (ii), and
 - (ii) enforcement of the bylaw, and
- (c) set a date for the bylaw to come into force that is at least 6 months after the date the bylaw is adopted by council.

Charge not a fee payable to municipality

- 7** An amount charged in accordance with the authority referred to in section 5 (2) (b) must not be collected by the municipality as a fee payable to the municipality.

SINGLE-USE PLASTIC REGULATIONS

BYLAW COMPLIANCE REPORT



INTRODUCTION

SINGLE-USE PLASTIC REGULATION BYLAWS

In 2016, Surfrider began targeted campaigns to address plastic pollution at the source. This included launching the Straws Suck Campaign and the Ban the Bag Campaign, working to eliminate single-use plastic/bioplastic straws and bags from businesses in Tofino and Ucluelet. Once we had reached 80-90% business compliance and completed years of community education and engagement, we approached both Districts for a ban on these items. Upon the initial readings being passed by both Mayor and Councils for a ban on these items, we began working closely with staff in both municipalities to draft the Single-Use Plastics Regulation in early 2019. Once this was adopted by both Districts, we began creating educational materials on the bylaw for residents, visitors, and businesses. We also provided free recycling for plastic straws and bags for businesses, which we paid to recycle through Terracycle. Additionally, we offered 1-on-1 consultation for any business that requested our support in the spring of 2019. The launch of this regulation garnered local, provincial, and national news, catapulting the west coast into leading the movement to address plastic waste.

Following this success, Surfrider launched the Forget the Foam Campaign and Cut the Cutlery Campaign in the autumn of 2019. The goal of these campaigns were/are to eliminate polystyrene takeaway containers and plastic/bioplastic cutlery. Only a few businesses had polystyrene containers so this was an "easy win". Both Districts added this item to the Single-Use Plastic Regulation Bylaws in October 2020. Following this, Surfrider was contracted to provide support to businesses that were still using polystyrene and consult with businesses on a ban on plastic/bioplastic cutlery.



Cut the Cutlery Consultation Report

In May 2021, Surfrider produced and submitted the Cut the Cutlery Consultation report to both Districts. This report outlines business support for a ban on cutlery in Tofino and Ucluelet, communication vehicles used to educate and engage the community, as well as the stats on businesses who have switched off of plastic/bioplastic cutlery. We hoped and intended for this report to lay the groundwork for adding this unnecessary item to the Single-Use

BUSINESS COMPLIANCE

Businesses with plastic/bioplastic bags:

- Two businesses in Tofino still give out plastic or bioplastic bags
- Two businesses in Ucluelet still give out plastic or bioplastic bags

Businesses with plastic/bioplastic straws:

- Three businesses in Tofino still give out plastic or bioplastic straws
- Two businesses in Ucluelet still give out plastic or bioplastic straws

Businesses with polystyrene takeaway containers:

- Zero (as far as Surfrider knows)

Businesses with plastic/bioplastic cutlery:

- Three new businesses in Tofino are using and giving out bioplastic cutlery, but they've been informed about the Cut the Cutlery campaign and have pledged to switch to wooden cutlery upon request and ideally for a charge. All businesses have stated they will use up their stock of bioplastic and then switch to wooden. We hope to get a ban in place soon to avoid needing to do a lot of groundwork every time a new business opens.
- Despite our consultations and support, two businesses in Ucluelet are still using plastic or bioplastic cutlery (though one has agreed to switch off bioplastic once they use up their stock) and two businesses in Tofino are still giving out plastic and bioplastic cutlery.

Overall, there are around fourteen non-compliant businesses, so we think it would be best for bylaw staff to visit and to send a general reminder to all businesses about the Single-Use Plastic Regulation Bylaws and what is/isn't permitted.

COMPLIANCE INSIGHTS

Surfrider supporting business compliance has been very valuable in the first few years of the regulation bylaws being in place in Tofino and Ucluelet, and we're happy we've been able to support this. However, the impetus for us advocating for bylaws is so that Surfrider doesn't have to be the "plastics police" following the completion of campaigns. Once we have business compliance, which is more than what most cities or towns achieve before enacting plastic bylaws, it will be best for us to move on and have bylaw deal with any businesses that are not legally compliant. As we all know, the plastics crisis far exceeds single-use takeaway items, we hope to finish our work on these items in the next few years so we can move on to larger targets. Key insights are as follows:

- Following this contract, **if a business isn't compliant with the bylaws, bylaw staff should visit the business.** If we notice a business isn't compliant, we will of course email bylaw. Residents should also be encouraged to contact bylaw/make a complaint online.
- **All new businesses that open should be given information on the Single-Use Plastic Regulation Bylaws.** Businesses open and then purchase a significant supply of illegal stock. It's a waste of money, time, and resources for them as well as for Surfrider and the districts who then have to deal with this. Businesses having this information when they open would help them as well as create less work long-term for the aforementioned partners. Surfrider would be happy to discuss supporting this!



BUSINESS FEEDBACK

Through our engagement and consultation, a majority of businesses and community members want to see further action taken on polluting plastic packaging. Truly, a minority of businesses, as seen above, have either **1) been irresponsible to the bylaws despite our efforts to educate, engage and support them, 2) have had new management come on who have started ordering plastic/bioplastic packaging or 3) are a new business that knows no different.**

To see business feedback on plastic/bioplastic cutlery, please see the **Cut the Cutlery report**. Much of the feedback provided in this report applies to all single-use plastics that are already banned. What we've heard and observed is that a majority of businesses are compliant with the existing bylaws and have displayed readiness for further action on single-use plastics that are not currently banned.

At this point, we felt it would be redundant to ask businesses if they still support a ban on plastic/bioplastic straws, bags and polystyrene containers when the bylaw is already in place and we're looking forward to eliminating the rest of the single-use plastic takeaway packaging in Tofino and Ucluelet. Businesses know that the shift away from single-use plastics is the standard, we've spent over 5 years educating businesses and working with them closely on this. Nationally and globally, this is also becoming the norm.



ELIMINATING THE FINAL SUP TAKEAWAY ITEMS

DISTRICT OF TOFINO COUNCIL GRANT PROJECT

This project, which commenced in May 2021, is supporting businesses in Tofino and Ucluelet with eliminating unnecessary single-use plastics and supporting their transition to offering locally compostable containers or reusable options through our Rise Above Plastics program. The primary project goal is to continue assisting non-compliant (34 across both towns) businesses in the community in eliminating all single-use plastic takeaway items that have not already been banned. This includes plastic/bioplastic sauce ramekins, coffee cups and lids, smoothie/juice cups, and food takeaway containers.

This project will further our efforts to prepare businesses for these changes in the winter of 2021/2022. It's our goal to eliminate all single-use plastic takeaway packaging by the end of 2022 in Tofino and Ucluelet - **a massive step towards becoming a zero waste community!**

Surfrider has spent a total of \$1150.00 on locally compostable single-use plastic alternatives to hand out to non-compliant businesses free of charge through this project so far. This includes wooden cutlery, sugarcane ramekins, sugarcane containers, paper coffee cups with paper lids, and sugarcane food containers.



WHAT TO CAMPAIGN ON NEXT?

DISTRICT'S CHOICE?!



Following the Cut the Cutlery Campaign (hopefully) being wrapped up (cutlery being added to the Single-Use Plastics Regulation Bylaws), **we'll have the capacity to launch a new campaign.** Of course, keeping in mind that we're still running the Take Back the Tap Campaign to eliminate single-use plastic water bottles in both Tofino and Ucluelet.

As mentioned, there are plastic/bioplastic coffee cups/lids, ramekins, takeaway containers, and smoothie/juice cups to eliminate. We would love to get both District's feedback on which item to campaign on next. Currently, our team is leaning towards campaigning to eliminate plastic/bioplastic coffee cups/lids next.



CONCLUSION

SHIFT CULTURE, SHIFT REGULATIONS



Through our work campaigning to **eliminate single-use plastics on the west coast**, we've realized there are two key pieces for creating systemic change on the local level. This includes 1) **shifting culture** and 2) **shifting regulations**, and these two components are interconnected and mutually reinforcing.

This means making zero waste "the **cool and trendy thing to do**", **promoting business champions**, **educating** the community and visitors, and **restoring the local environment from plastic pollution**. Through these actions, we affirm people's sense of worth and identity as it relates to **environmental protection and stewardship**.

We now find ourselves at a pinnacle point, with **businesses and residents ready for a ban on single-use plastic utensils**, and with a climate and environment that is beyond its ability to absorb more negative externalities of our throwaway society. We're grateful for the District of Tofino's and District of Ucluelet's leadership and continual support in this movement, and **we look forward to taking this next leap together!**





INFORMATION REPORT

Council Meeting: February 22, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: ABBY FORTUNE, DIRECTOR OF PARKS & RECREATION

FILE NO: 6240-20

SUBJECT: AMPHITRITE HOUSE PROJECT UPDATE

REPORT NO: 22- 20

ATTACHMENT(S): N/A

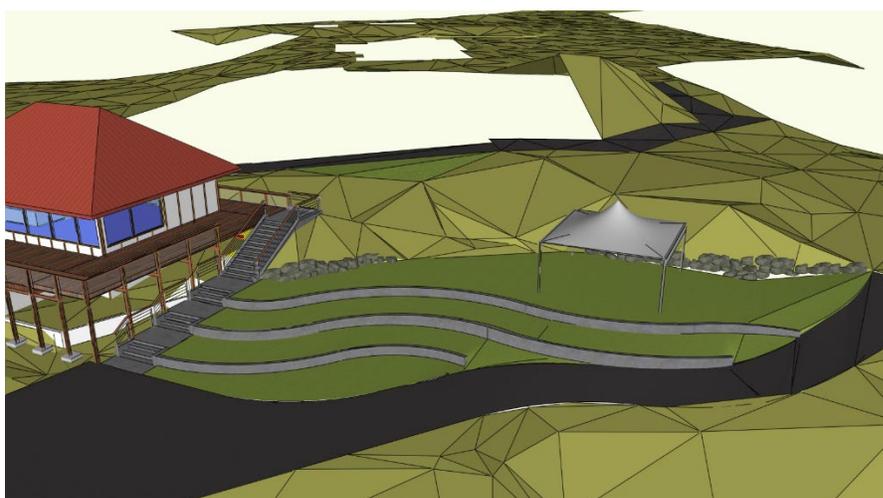
PURPOSE

To provide Council with updated information and the current status of the Amphitrite House Project as it relates to the upcoming 5 Year Financial Plan presentation.

BACKGROUND

The District of Ucluelet has been working on the redevelopment of the former Lightkeeper's Residence. The intent is to maintain the iconic look and feel of the Lighthouses of the past, with an updated functional space for the future. The renovation/rebuild of the existing structure is a key component of the proposed upgrades, which includes exterior improvements such as a wrap-around deck, outdoor amphitheater, accessible pathways, and upgraded water and sanitary.

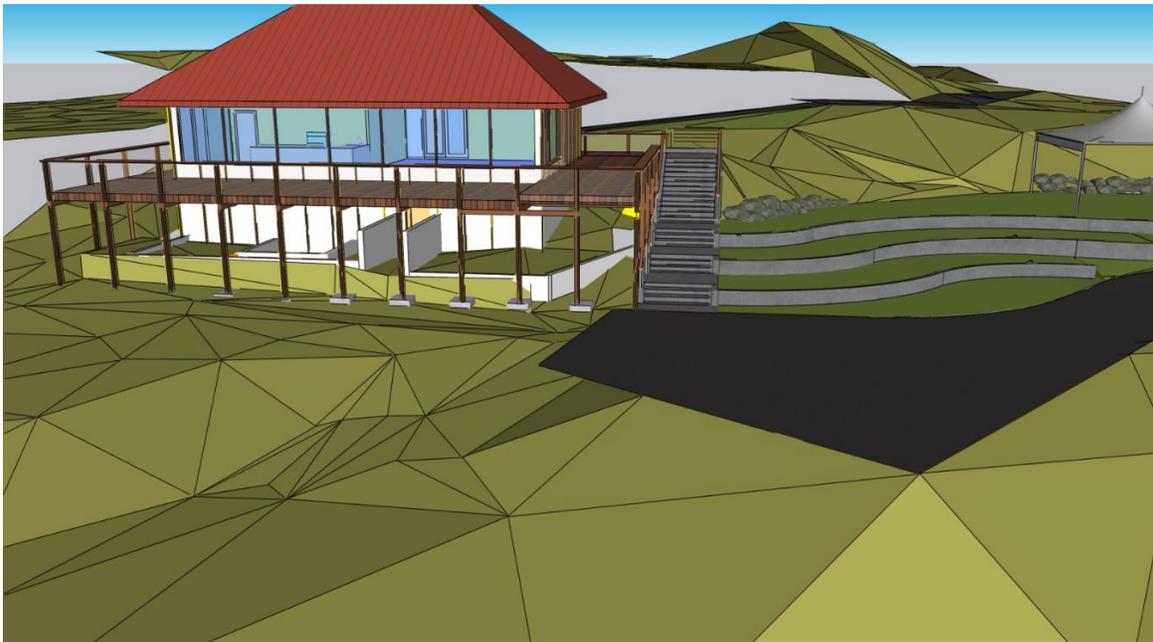
Efforts were concentrated on design and detail solutions for the Architecture components and exterior landscape to align with the District goals and objectives for programming, layout, form, function, and cost factors.



The Development Design phase has been completed. Staff have been working with the Design Consultants, Urban Systems, their subconsultant Architect, Public Communications and the additional subconsultants to complete the design.

From the Design Development documents a Class B estimate is currently being carried out, to be completed in early March, 2022. For the purposes of the 5 Year Financial Plan, we are currently recommending that 1.9 million dollars be budgeted for this project. This reflects the estimate from the July 13, 2021, report that looks at Option 2B for the Amphitrite House Project (retaining existing foundation, build new main floor with no basement improvements).

With the preliminary budget of 1.9 million we are confident that this is an appropriate amount plus or minus 10 % considering market volatility and high construction contractor demands. Once the Class B estimate is completed, Council will be provided with a further report for approval to proceed with the final design and to gain authorization to proceed with the tendering of the project.



Respectfully submitted:

ABIGAIL K. FORTUNE, DIRECTOR OF PARKS & RECREATION
DUANE LAWRENCE, CAO



REPORT TO COUNCIL

Council Meeting: February 22, 2022
 500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOHN TOWGOOD, MUNICIPAL PLANNER **FILE No:** 3060-20 DP21-06
SUBJECT: DEVELOPMENT PERMIT 1536 PENINSULA ROAD **REPORT No:** 22- 21
ATTACHMENT(S): APPENDIX A – APPLICATION
 APPENDIX B – DEVELOPMENT PERMIT 21-06

RECOMMENDATION(S):

That Council approve issuance of Development Permit DP21-06 for a two-motel unit addition to the Francis Boutique Inn, located at 1536 Peninsula Road (Lot B, VIP59620, District Lot 282, Section 21, Clayoquot Land District).

BACKGROUND:

This Development Permit (**DP**) application was received August 18, 2021, for The Francis Boutique Inn located at 1536 Peninsula Road (the “**subject property**”) with final drawings being submitted on September 22, 2021.



Figure 1 – Subject Property

The Francis Motel Inn has been in operation since 2017 as a 4-unit motel. The applicant is proposing:

- A two storey two-unit addition to the rear of the existing motel building.
- An expansion and reconfiguration of the parking area.
- Landscaping.
- Removal of the southern driveway access trespass and direct access to the Ucluelet Fire Department lands.

The subject property falls within the Official Community Plan, Village Square, DP Area which is established for the following purposes:

- Revitalization of an area in which a commercial use is permitted; and
- Establishment of objectives for the form and character of development in the resort region.

Revitalization of an area in which a commercial use is permitted

The objectives that justify this designation include assisting in the revitalization of the Village Square and enhancing and creating form and character that befits the community's core area. The primary changes notable from the public realm are primarily the frontage landscaping and the removal of the southern driveway. These changes can be considered an enhancement of the existing street scape and assisting in the revitalization of the Village Square.

Establishment of objectives for the form and character of development in the resort region

Key form and character guidelines for this application are:

- Buildings and associated landscapes should be designed to reflect the west-coast fishing village character and cultural heritage of Ucluelet. Building designs should be contextual and compatible with the character, scale and form of those buildings on adjacent sites which meet these same guidelines. Features such as roof line and slope, maximum height, massing, form and articulation should be considered. Developments should also include the use of natural materials such as wood and stone, and landscaping which utilizes species native to the region. Contemporary designs which make these character references are encouraged.
- Landscape planting schemes must provide definition and clarity within the public realm. Plant material should be used to:
 - Imply space such as a café seating area;
 - Signify a particular spot such as an entrance or gateway;
 - Define pedestrian corridors;
 - Delineate private and semi-private space from public space;
 - Beautify a streetscape; and,
 - Soften the transition of adjacent land uses.

The motel addition is integrated to the rear of the existing building with matching exterior materials of Hardie-Board and cedar accents. The landscaping is predominantly native species and will enhance the

current streetscape. This permit will be subject to the applicant supplying a detailed landscape plan and a deposit of 125% of the value of the proposed landscape works. See application drawing in **Appendix A**.

Zoning

The subject property falls within the CS-2 zone and from the information provided the proposed development is consistent with the applicable zoning regulations.

Servicing

The subject property is fully serviced with the addition service connections being reviewed at the building permit stage.

Fire Services

Firefighting on this site would require staging along the frontage. Access to the rear will be difficult but the addition to the rear should not aggravate this existing situation.

Removal of Driveway Trespass

The applicant is proposing to remove an existing driveway trespass (**Figure 2**) and re-landscape the disturbed area as part of this application.

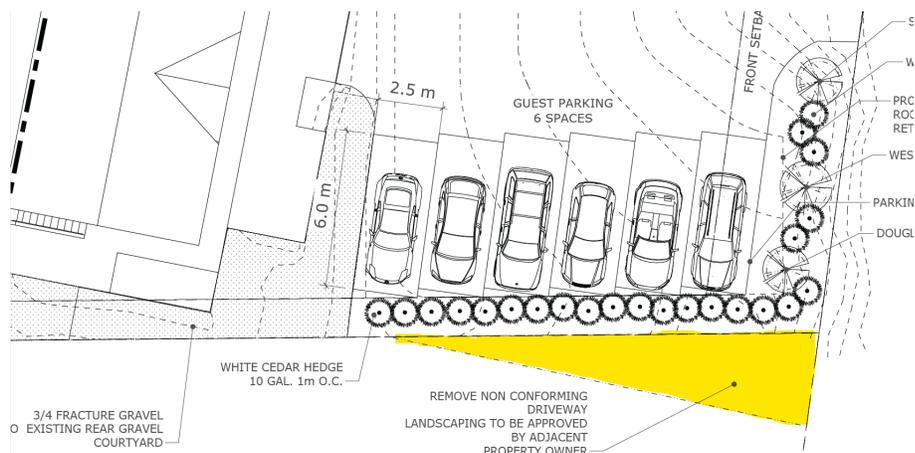


Figure 2 - Driveway Trespass

ANALYSIS OF OPTIONS

A	Approve issuance of Development Permit DP21-06	<u>Pros</u>	<ul style="list-style-type: none"> Consistent with Village Square DP Guidelines
		<u>Cons</u>	<ul style="list-style-type: none"> As the application is consistent with the Village Square DP Guidelines; there are no negative aspects to the approval of this application.
		<u>Implications</u>	<ul style="list-style-type: none"> Approval will allow the application to proceed, The district will receive a Development Cost Charges contribution for each unit at building permit.

			<ul style="list-style-type: none"> Staff time will be required to process this application.
B	Reject the application and state which specific DP guidelines are not adequately met.	<u>Pros</u>	<ul style="list-style-type: none"> Unknown at this time
		<u>Cons</u>	<ul style="list-style-type: none"> Unknown at this time
		<u>Implications</u>	<ul style="list-style-type: none"> The application would not proceed. The applicant would need to redesign and resubmit their application.
		<u>Suggested Motion</u>	THAT Council reject the application for DP21-06 at this time [and Council should state which specific DP guidelines are not adequately met by the current proposal].

POLICY OR LEGISLATIVE IMPACTS:

- This application is compliant with the Official Community Plan and the Zoning Bylaw.

NEXT STEPS

- If this application is approved:
 - the attached development permit will be signed by the Director of Community Planning, issued to the applicant, and then filed with the Land Title Office.
 - the applicant or subsequent owners of the subject property will be required to meet all conditions of the permit and any other conditions set out by Council for the proposed development.

Respectfully submitted:

JOHN TOWGOOD, MUNICIPAL PLANNER

BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING

DUANE LAWRENCE, CAO

THE
FRANCIS
BOUTIQUE INN

Issued for Development
Permit Sept 21 2021

The
Design
Centre

RESIDENTIAL & RESORT
PLANNING & DESIGN

250.726.3973



Prepared by:
Ian Kennington, BLA

The Design Centre Ucluelet
7-1920 Lyche Rd.
PO Box 1243, Ucluelet, BC
V0R 3A0
250.726.3973

THE FRANCIS BOUTIQUE INN

ZONING INFORMATION:
 CIVIC ADDRESS: 1536 PENINSULA RD, UCLUELET, BC
 LEGAL DESCRIPTION: PID 018906117, LOT B, PLAN VIP 59620, DISTRICT LOT 282 SECTION 21, CLAYOQUOT LAND DISTRICT

ZONING: CS2
 LOT AREA: 1023.8 SQ.M. / 11,020 SQ.FT.

	MIN/MAX	PROPOSED	CONFORMS
HEIGHT:	28' FT	24' - 6" (see note *)	YES
FRONT YARD:	15'	81.4' (MIN.)	YES
REAR YARD:	10'	16.6 (MIN.)	YES
INTERIOR SIDE:	5'	5'	YES
EXTERIOR SIDE:	NA	NA	NA
LOT COVERAGE:	50%	1399 SQ.FT.(13%)	YES

PROPOSED FLOOR SPACE:

MAIN FLOOR LIVING SPACE: 484 SQ.FT.
 2ND FLOOR: 405 SQ.FT.

EXISTING TO REMAIN: 1783 SQ.FT.

TOTAL: 2672 SQ.FT.

FLOOR AREA RATIO (.35): .24 YES

PARKING (7 REQ'D) 7 YES

NOTES:

* AVERAGE GRADE (SURVEYED) = 50.3m PEAK ELEVATION 57.58m
 PROPOSED BUILDING HEIGHT = 7.28 m (23'-10.5")

GENERAL NOTES:

- BUILDER/CONTRACTOR TO ENSURE ALL WORKMANSHIP AND MATERIALS CONFORMS WITH CURRENT BCBC
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND CURRENT BCBC. THE BCBC SHALL TAKE PRECEDENT.
- ALL STRUCTURAL ASPECTS OF THIS PROJECT THAT DO NOT FALL UNDER PART 9 OF THE CURRENT BCBC ARE TO BE THE RESPONSIBILITY OF THE BUILDER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS SHOWN ON DRAWINGS BEFORE PROCEEDING.
- CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND LOCATIONS OF CITY SERVICES PRIOR TO CONSTRUCTION.
- EXTERIOR DIMENSIONS ARE TO EXTERIOR OF WALL SHEATHING
- DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- FLOOR JOISTS SHALL HAVE BRIDGING ROWS @ 7'-0" MAX. O.C./-
- LINTELS IN BEARING WALLS SHALL BE 2 2X10 U.N.O.
- FLOOR AREAS FINISHED WITH SHEET VINYL OR CERAMIC TILES TO HAVE MIN. 1/4" PARTICLE BOARD OVER SUBFLOOR.
- BUILDING LOCATION TO BE FIELD VERIFIED TO MEET ALL SETBACK REQUIREMENTS
- ALL FRAMING SEPARATING SUITES TO BE DRYWALLED WITH TYPE X 45 MINUTE FIRE RATED DRYWALL
- TYPE X DRYWALL TO EXTEND BETWEEN FLOOR JOISTS TO UNDERSIDE OF SUBFLOOR OF SUITES ABOVE
- FLOOR JOISTS AND INTERIOR WALL FRAMING BETWEEN SUITES TO BE INSULATED WITH ROCK WOOL FIRE SUPPRESSION BATTS

LANDSCAPE AND SITE SERVICING:

ALL SITE WORK AND IMPROVEMENTS TO CONFORM TO LOCAL BY-LAWS. ANY DEVIATIONS TO THE PLAN MUST BE APPROVED BY THE OWNER.

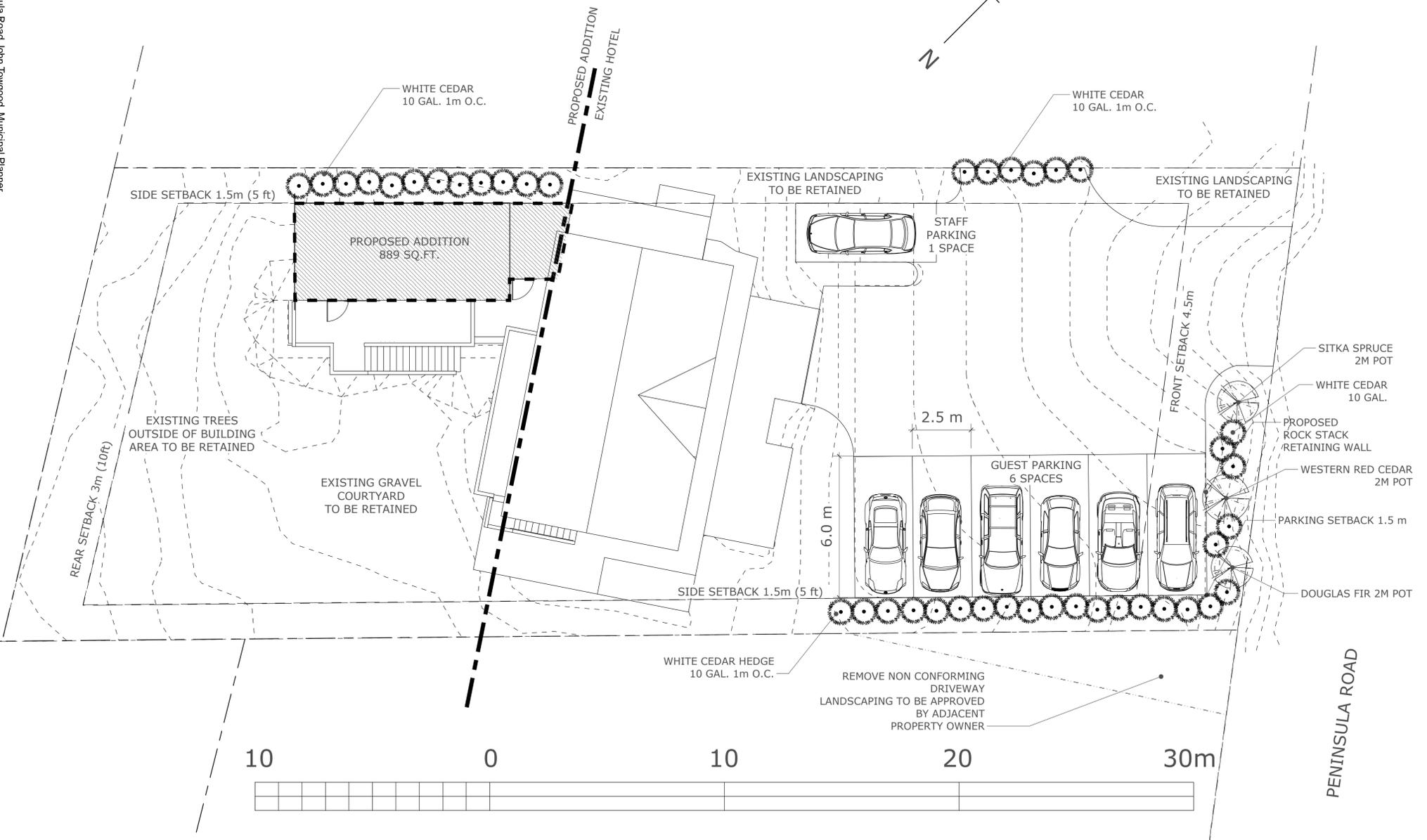
GENERAL FRAMING NOTES:

- ALL STRUCTURAL FRAMING TO BE SPF NO. 2 K.D., U.N.O.
- ALL HEADERS 2 - 2X10 U.N.O.
- PROVIDE SOLID BLOCKING BEHIND FIXTURES ALONG PLUMBING WALLS.
- ALL FLOOR JOISTS SPANS TO HAVE 2X2 CROSS BRIDGING AT 7'-0" O.C. MAX SPACING.
- PLACE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- INSTALL ALL FLOOR JOISTS CROWN UP.
- ALL EXTERIOR DECK FRAMING TO BE PRESSURE TREATED

SUPPLY AND INSTALL WOOD FRAMING TO MIN. GRADE AS FOLLOWS:

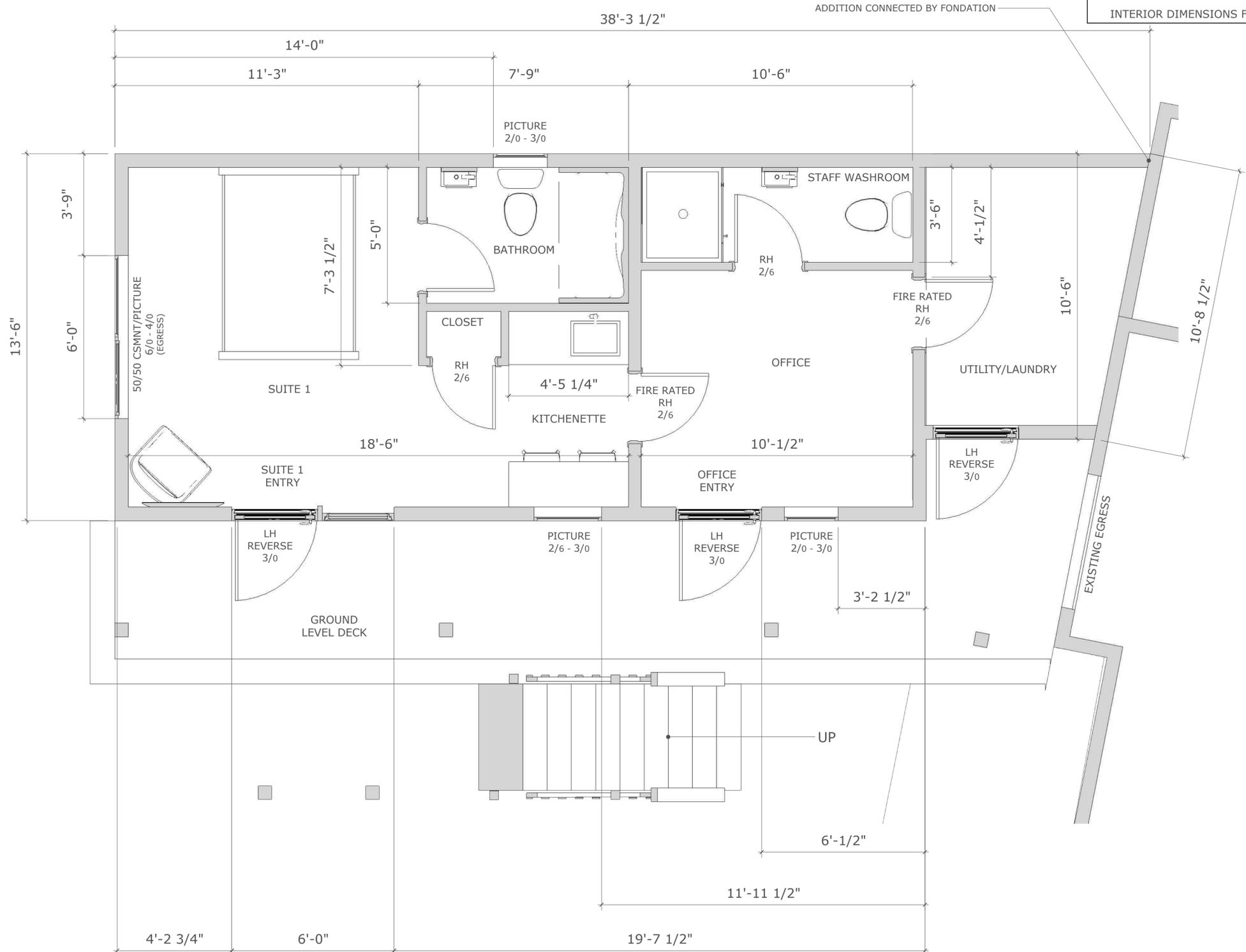
STUDS, AND POSTS: SPF NO. 2 OR BETTER
 RAFTERS: ENGINEERED TRUSS
 FLOOR JOISTS: 12" TJI
 GENERAL FURRING AND BLOCKING: STD OR GROUP B SPECIES
 B.U. BEAMS AND HEADERS: HEM. FIR NO. 2 OR BETTER

- FLOOR SHEATHING SHALL BE 5/8" D. FIR T&G PLYWOOD, U.N.O.
- WALL SHEATHING SHALL BE 1/2" EXT. GRADE SPRUCE PLYWOOD
- WOOD FRAME CONSTRUCTION CLOSER THAN 8" TO THE GROUND MUST BE PRESSURE TREATED OR SEPARATED FROM THE CONCRETE WITH POLY TYPE S ROLL TYPE ROOFING. ENDS AND SIDES OF BEAMS FRAMING INTO CONCRETE MUST BE PRESSURE TREATED OR 1/2" AIR SPACE PROVIDED IF THE MEMBER IS BELOW GROUND LEVEL
- ROOF SNOW BASED ON S51.0, SR 0.4



SITE PLAN - SCALE: 1:100 m
 CONTOUR INTERVAL 0.3m

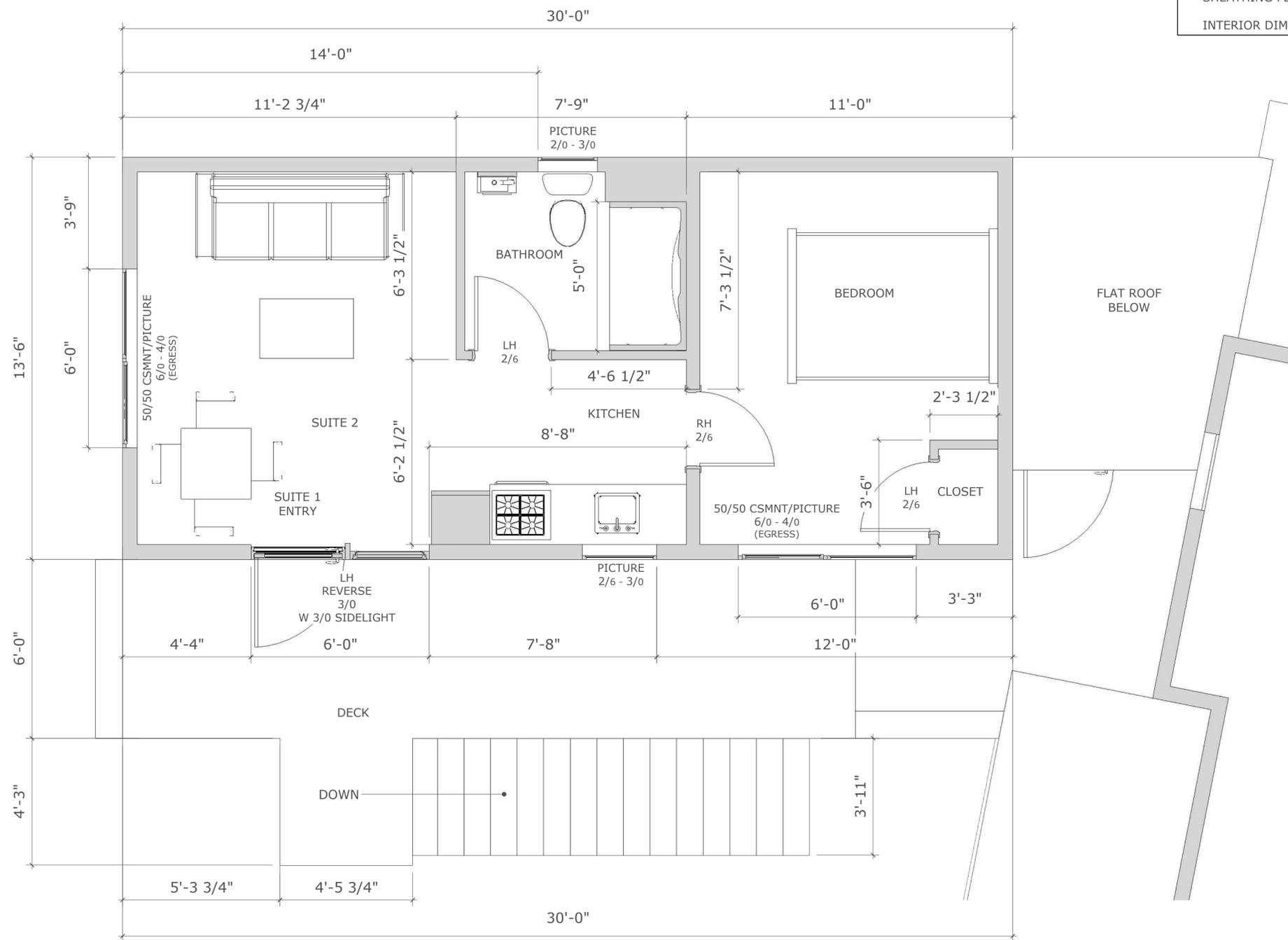
NOTE:
 DIMENSIONS TO EXTERIOR SHEATHING
 SHEATHING FLUSH TO OUTSIDE OF ICF FOUNDATION WALL
 INTERIOR DIMENSIONS FROM FRAMING



MAIN FLOOR PLAN - SCALE: 1/2" = 1'-0"
 TOTAL: 484 SQ.FT.
 (NOTE: AREA MEASURED TO EXTERIOR SHEATHING)

MAIN FLOOR PLAN

NOTE:
 DIMENSIONS TO EXTERIOR SHEATHING
 SHEATHING FLUSH TO OUTSIDE OF ICF FOUNDATION WALL
 INTERIOR DIMENSIONS FROM FRAMING



2ND FLOOR PLAN - SCALE: 1/2" = 1'-0"
 TOTAL: 405 SQ.FT.
 (NOTE: AREA MEASURED TO EXTERIOR SHEATHING)

2ND FLOOR PLAN

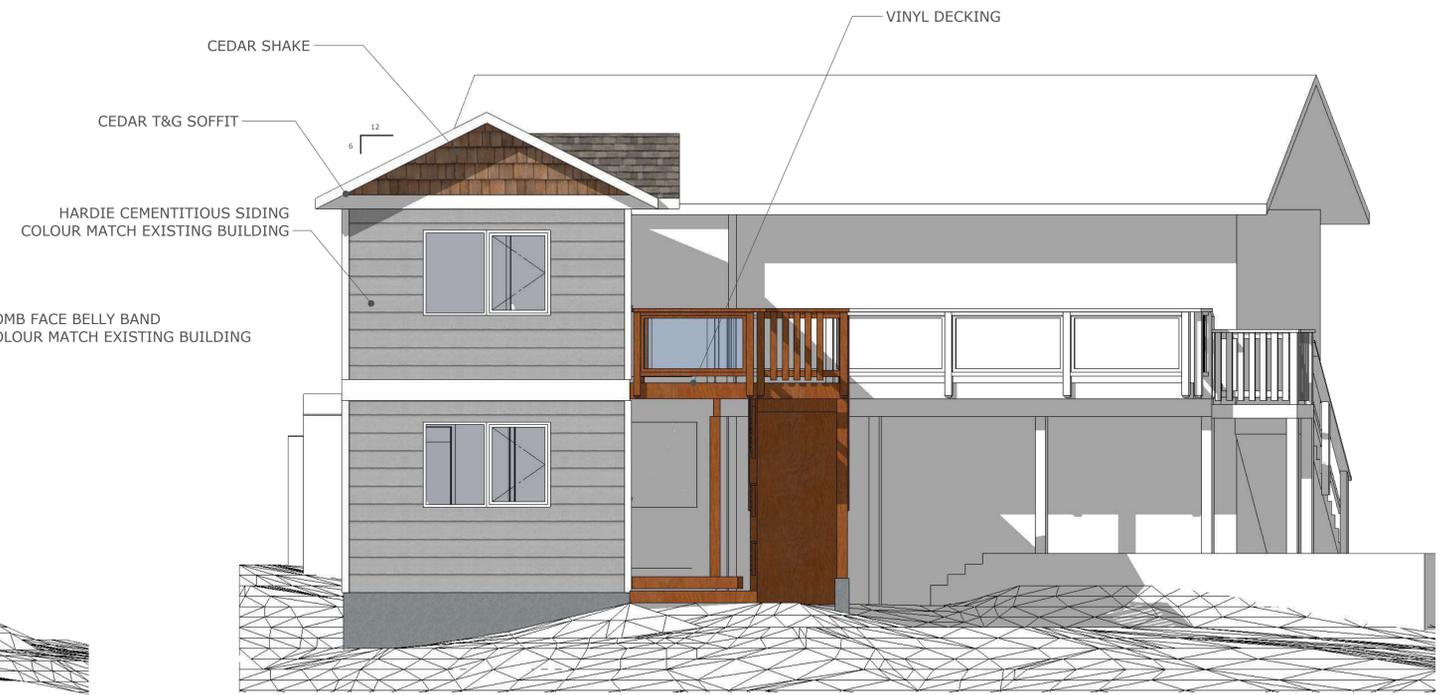


SECTION - SCALE: 1/2" = 1'-0"

SECTION 1



NORTH ELEVATION (SIDE) - SCALE: 1/4" = 1'-0"



WEST ELEVATION (REAR) - SCALE: 1/4" = 1'-0"



SOUTH ELEVATION (SIDE) - SCALE: 1/4" = 1'-0"

EXISTING MATURE TREES

PROPOSED ADDITION

EXISTING BLDG

EXISTING DECK

STAFF PARKING - 1 SPCE

ENHANCED VEGETATIVE SCREENING

ROCK STACK RETAINING WALL

RETAINED NATURAL VEGETATION

GUEST PARKING - 6 SPACES

PENINSULA ROAD

SOUTH EAST SITE PROFILE - SCALE: 3/16" = 1'-0"

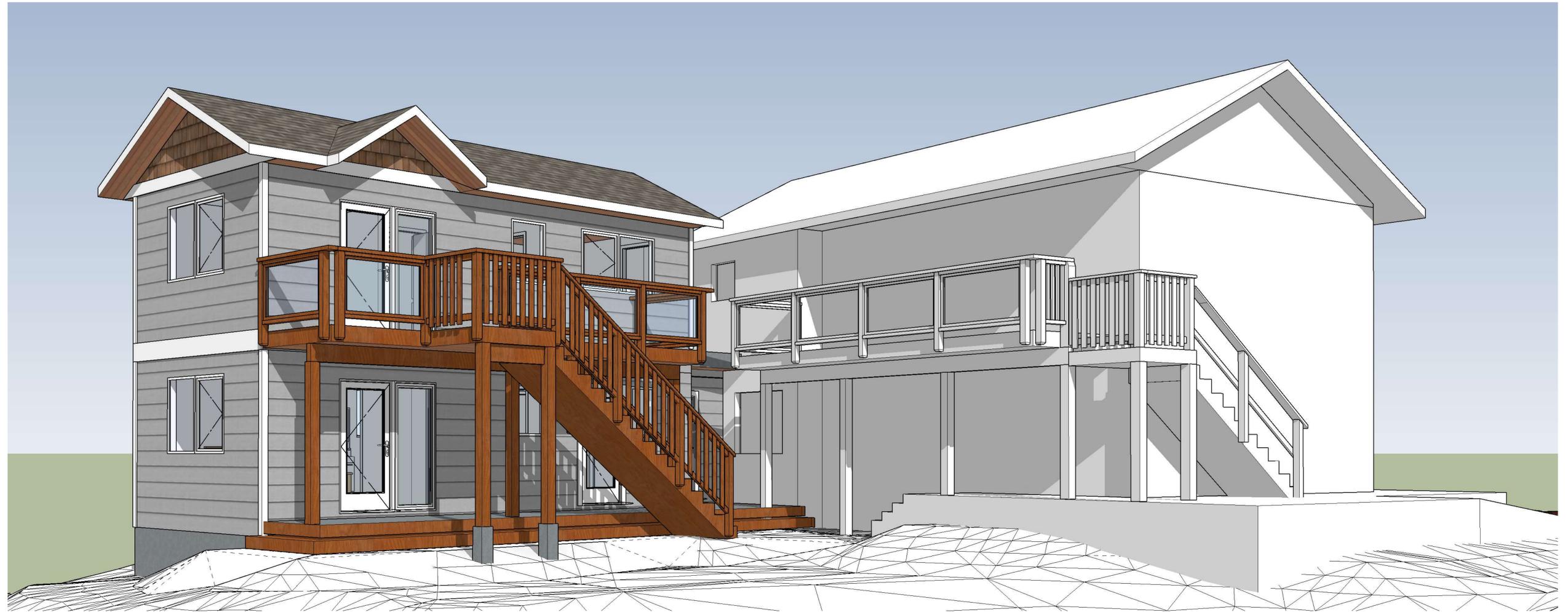
REAR PROPERTY LINE

REAR SETBACK 3 m

RETAINED GRAVEL COURTYARD

1.5m PARKING SETBACK

FRONT PROPERTY LINE



SUITE 1



SUITE 2



DEVELOPMENT PERMIT DP21-06

Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:

1278408 B.C. LTD, INC NO BC1283075, 1536 Peninsula Road Ucluelet, BC V0R 3A0

2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

1536 Peninsula Road; Lot B, VIP59620, District Lot 282, Section 21, Clayoquot Land District

3. This Permit authorizes the following improvements on the Lands:

- a) A two unit motel addition to the rear of the existing Francis Boutique Inn building.
- b) An expansion and reconfiguration of the parking area.
- c) The removing of the southern driveway access trespass and directs access to the Ucluelet Fire Department lands.
- d) Associated landscaping and tree retention.

4. These improvements apply only in the locations indicated, and otherwise in accordance with, the drawings and specifications attached to this Permit as Schedule A.

5. This permit will be subject to the applicant supplying a detailed landscape plan and a deposit of 125% of the value of the proposed landscape works.

6. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws. The owner is responsible for ensuring that the timing of the work and any required permits or notifications by other agencies are obtained as required to comply with all applicable regulations.

7. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.

8. The owner shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.

9. This Permit is NOT a Building Permit.

10. Schedule A attached hereto shall form part of this Permit. The Municipality's Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

AUTHORIZING RESOLUTION passed by the Municipal Council on the day of , 2022 .

ISSUED the day of , 2022.

Bruce Greig
Director of Community Planning



Schedule A

(See Appendix A)



REPORT TO COUNCIL

Council Meeting: February 22, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: PAULA MASON, MANAGER OF CORPORATE SERVICES **FILE NO:** 4200-20
SUBJECT: APPOINTMENT OF CHIEF AND DEPUTY ELECTION OFFICERS **REPORT NO:** 22- 16
ATTACHMENT(S): N/A

RECOMMENDATION(S):

THAT Council approve Option A, to appoint Joseph Rotenberg as Chief Election Officer and Paula Mason and Samantha McCullough as Deputy Chief Election Officers for the purposes of conducting the 2022 Ucluelet Municipal General Election.

BACKGROUND:

The purpose of this report is to gain Council authorization to appoint the Chief Election Officer (“CEO”) and the Deputy Chief Election Officers (“DCEOs”) whose duty it will be to prepare for and conduct the 2022 Advanced Voting Opportunity scheduled for Wednesday, October 5, 2022 and the 2022 General Local Election scheduled for Saturday, October 15, 2022.

ANALYSIS OF OPTIONS:

Appointing Mr. Rotenberg as the CEO will enable him to conduct and oversee the upcoming 2022 election in October, upon his return from leave. Mr. Rotenberg’s leave ends on July 4, 2022 at which time he will oversee the election in his role as the CEO. Among many other duties not listed below, the Chief Election Officer is responsible for overseeing all local election administration activities, such as:

- Receiving candidate nomination forms
- Declaring the candidates running for office
- Setting up voting opportunities for qualified electors
- Counting votes on general voting day
- Declaring the election results
- Training any deputy chief election officers, presiding election officials and any additional election officials needed to conduct the general local election

By appointing Ms. Mason and Ms. McCullough as DCEOs, we ensure the required legislative and logistic preparation leading up to an election, can be carried out in an effective and efficient manner. These duties include assisting the Chief Election Officer in all aspects of coordinating and conducting the 2022 Local Municipal Elections, including but not limited to:

- Ensuring all required election procedures are observed and enforced
- Hiring, assigning, and training of election day staff
- Ordering and preparing supplies for the voting locations
- Preparation of advertisements and information materials

- Production of the Voters List
- Preparing statistics and reports
- Acting for the Chief Election Officer in his/her absence

Historically, the District has appointed staff members as the CEO and DCEO. It is recommended that the District continue to conduct elections using current staff members, who have access to all election policies and previous methods used.

A	Appoint the CEO and DCEOs as presented.	<u>Pros</u>	<ul style="list-style-type: none"> • Manager of Corporate Services roles are commonly used to oversee municipal elections. • Cost of having staff oversee a municipal election is reduced compared to contracting out election's services. • Appointing two DCEO's allows for increased capacity and coverage of the election duties. • Appointing Mr. Rotenberg as CEO now, will enable him to commence oversight of the election immediately upon his return from leave. • Appointing two DCEO's, will allow for the commencement all legislative and logistical preparations that need to be fulfilled, prior to the CEO's return to office.
		<u>Cons</u>	<ul style="list-style-type: none"> • Undertaken planning and oversight of the election will involve a significant amount of administrative time from the corporate services department.
		<u>Implications</u>	<ul style="list-style-type: none"> • Having two Deputy Chief Election Officers will slightly increase labour costs in the election budget
B	Utilize third-party election officials.	<u>Pros</u>	<ul style="list-style-type: none"> • Reduces the administrative workload on municipal staff. • Creates a high degree of separation between election activities and the municipal office.
		<u>Cons</u>	<ul style="list-style-type: none"> • Hiring third-party election officials see substantially higher cost which would need to be addressed within the budget. • Securing election services may be challenging due to limited availability of qualified election contractors. • Much of the administrative preparation is still undertaken by staff, despite having a contracted election official oversee the proceedings
		<u>Implications</u>	<ul style="list-style-type: none"> • The choice to hire a third-party contractor at this time would cause a significant delay to the legislative process. This would be detrimental to the election process, as there are legislative requirements that need to be met in the very near future. • Election budget would need to be amended and increased from \$20,000 to \$30,000.
		<u>Suggested Motion</u>	<p>THAT Council direct Staff to source out a third-party company, for the purpose of conducting the 2022 Municipal Election on behalf of the District of Ucluelet and bring a report back to a future Council meeting, setting out available options.</p>

POLICY OR LEGISLATIVE IMPACTS:

Pursuant to [Section 58\(1\)](#) of the *Local Government Act*, Council must appoint a Chief Election Officer (CEO) and a Deputy Chief Election Officer (DCEO) for the purposes of conducting an election. The Chief Election Officer (CEO) will be primarily responsible for overseeing the election. In accordance with [section. 59 \(2\)\(d\)](#) of the *Local Government Act*, the Deputy Chief Election Officers (DCEO) may take the lead on all logistical aspects of the election, in consultation with the CEO.

NEXT STEPS

- Advise Elections BC of the appointments of the officers
- Deputy Chief Election Officer(s) to begin preparing the Elections Workplan and the Elections Calendar and to begin reviewing the Election and Assent Voting Bylaw, as required by legislation

RESPECTFULLY SUBMITTED: PAULA MASON, MANAGER OF CORPORATE SERVICES
DUANE LAWRENCE, CHIEF ADMINISTRATIVE OFFICER



REPORT TO COUNCIL

Council Meeting: February 22, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JAMES MACINTOSH, DIRECTOR OF ENGINEERING SERVICES

FILE NO: 5330-20

SUBJECT: WATER TREATMENT SYSTEM UPGRADE

REPORT NO: 22-22

ATTACHMENT(S): APPENDIX A - UCLUELET WTP UPGRADES CLASS D ESTIMATE

RECOMMENDATION(S):

THAT Council approve option A: to authorize Staff to complete the Alternative Approval Process for a \$_____ million loan as part of the water treatment system project; and,

THAT Council authorize Staff to issue a Request for Proposal in 2022 for the Design-Bid-Build of the water treatment system project upon a successful Alternative Approval Process; and,

THAT Council authorize Staff to complete pre-project work for the water treatment system project in an amount not to exceed \$300,000 funded through water reserves and the Investing in Canada Infrastructure Shared Cost Agreement.

BACKGROUND:

The District of Ucluelet Water Treatment System project (the "Project") involves:

1. Improvement to the Lost Shoe Creek Wellfield to include filtration for manganese removal, to meet the new maximum allowable concentration set in the Guidelines for Canadian Drinking Water (Health Canada, 2019) and additional disinfection measures required for Groundwater at Risk of Containing Pathogens;
2. Improvements to the Mercantile Creek water source to include filtration of suspended particulates which will bring the source into compliance with Island Health's treatment requirements; and
3. The construction of a third reservoir located near the existing Highway Reservoir to increase storage capacity.

At the time of the grant application in early 2020, the Project's overall cost was estimated at \$9,600,000. On August 20, 2021, the Governments of Canada and British Columbia awarded the District \$7,039,680 in funding for the Project through Investing in Canada Infrastructure Program's Green Infrastructure Stream (the "ICIP"). This grant covers 73.33% of the estimated cost; the maximum funding amount allowed.

Since the ICIP grant only covers 73.33% of the Project and Staff have recommended borrowing the remaining capital, a Loan Authorization Bylaw is required. As a precursor to applying to ICIP for funding, Council gave three readings to District of Ucluelet Loan Authorization Bylaw No. 1268, 2020 (the "Bylaw") in March of 2020. If adopted, this Bylaw would authorize the borrowing of up to \$2,560,320 over a term of 30 years. Adoption of this Bylaw would be subject to Municipal Inspector and electoral approval.

More than a year has passed since project costs were estimated. Considering the current building and construction market, Staff anticipated that construction costs would have increased since the original costs estimates were completed and therefore a new costs estimate was completed.

In December 2021, Staff hired cost consultants BTY to re-estimate the project costs. The estimate was prepared without the benefit of detailed architectural, mechanical, electrical, or structural, civil and process mechanical drawings and should, therefore, be considered an Order of Magnitude (Class D) estimate. Based on the documents reviewed, the estimate should be correct within a range of approximately +/- 20% to 30%.

The new Class 'D' estimate to design and build the concept is \$20,745,400. Staff is recommending Council approve a total project cost of between \$15m and \$20m and conduct an AAP with a request to borrow between \$8m and \$13m. Currently \$15m has been included within the 2022 capital budget with anticipated borrowing of \$8m.

After receiving the estimate, District Staff held meetings with the cost consultant, BTY, the engineering firm, Associated Engineering, and the grant funder to better understand the estimate and current market, the concept design and options, the grant constraints, and the potential paths forward.

The cost consultant has expressed their challenges in producing estimates in the current economy which has not stabilized from COVID-19. They explained that costs are escalating at a rate previously unseen in their profession, and the market is too volatile to provide certainty. For example, their overall cost estimate on the project has increased by 100% in a year's time which includes an increase in mechanical processing equipment of up to 300%. For this reason, the estimate has used a contingency of 25% and significant escalation modifiers. It is recommended by the consultant that costs be refined as soon as reasonable by beginning Preliminary Design then receiving pricing from vendors (an exercise not done in a Class D estimate).

Associated Engineering, the firm who completed the Feasibility Study and Concept Design, have been asked to assist with strategizing potential next steps. They have recommended that the District proceed with Preliminary Design work which would include challenging/testing the Concept Design to determine the most appropriate technologies and processes to achieve the District's main water treatment objectives. Within Preliminary Design, value engineering can be integrated which thoroughly considers the project from many angles such as efficiency, environmental, mechanical, land-use, economical and other factors, to see if the design can be

improved and a cost reduction realized. Associated Engineering recommends moving forward to provide a more empirical understanding of the project complexities and costs.

District Staff have shared the new estimate with the grant funder and asked them to provide their position and flexibility concerning the grant given the increased estimate and current market conditions. It's been clearly communicated by the funder that the grant will not be increased in value, nor will the scope of the project be reduced without defaulting the Shared Cost Agreement. The funder did however, signal an acknowledgement of the challenging market conditions and suggested there would be openness to discuss grant options should the District move the project beyond concept to determine more accurate costs. High estimates nearing the end of Preliminary Design would lead to an exhaustive and additional value analysis/engineering exercise to thoroughly reduce costs further. At that stage, the grant funder is open to consider options should the costs remain at their current value.

It is recommended by the cost consultant, the engineering firm, and the grant funder, to proceed with the project to gain an empirical understanding of the project costs estimates. The grant funder has signaled an openness to problem-solve if costs remain high after Preliminary Design is progressed and exhaustive value engineering is completed.

Given the stated rationale, the received estimate of \$20m has been reduced to \$15m by District Staff to provide an amended budget range to consider:

- Inflated and challenging costs estimate;
- Class D estimate with \$4.5m in contingencies and escalation modifiers;
- Securing contracts quickly will contain cost escalations and mitigate market uncertainties;
- Preliminary Design will likely reduce complexities and costs;
- Value engineering will further reduce costs;
- Grant funders openness to work together on options should the costs remain high.

ANALYSIS OF OPTIONS

In **Option A**, the project budget would be wholly approved and moving forward on schedule.

The total value of the project is reduced to \$15m from an estimated \$20m with the assumption that through further design work, value engineering and securing contracts as soon as feasible to mitigate market escalation, is achievable.

The District would take steps to begin the Alternative Approval Process to receive approval from the electoral body to then take a loan of \$8-13m in 2023.

Once approved, a Request for Proposal would be issued in 2022 for the Design-Bid-Build of the entire project. There is sound reason in moving ahead with a project which is more expensive than originally anticipated:

- The value of the project cannot be understated;
- The current capital project market is escalating in cost and uncertainty as reported by the cost consultants;
- The District’s drinking water does not meet the minimum criteria defined by Canada’s Clean Drinking Water Guideline and Act;
- The District maintains regular testing for iron and manganese which is often above the guideline criteria;
- An abnormal accumulation of sediment in the system has been recently observed in Ucluelet’s reservoirs and piping system;
- Water system experts have expressed that increased maintenance is critical but will not correct the problem;
- The community need for clean water can be observed throughout decades of citizen concerns which will only increase with growth, time, increased expectations, and use.

District Staff recommend Option A because it moves the project forward wholesale while reducing costs along the path and containing uncertainties in the escalating market.

In **Option B**, the project budget is partially approved, and a Request for Proposal would be issued in 2022 to complete the Preliminary Design, funded by water reserves.

This project path defers the Alternative Approval Process and loan authorization until after Preliminary Design is completed. The strategy uses a stepping-stone approach of doing some design work then receiving a cost update to help inform the steps ahead before wholly committing to the project.

In **Option C**, that status quo would remain with an increased water system flushing and maintenance program. There is a risk that the continued levels of manganese and iron would trigger water advisories and/or a health order to undertake a water filtration project which may not receive grant funding.

A	Approve the AAP, pre-project work (\$300,000) and proceed with the project (\$15m-20m)	<u>Pros</u>	<ul style="list-style-type: none"> • Project would be fully approved and moving forward on schedule • Full approval avoids asking Council to make decisions concerning the project during the Autumn election • A Request for Proposal to Design-Bid-Build the whole project would be completed in 2022 • Value of the project could be reduced to \$15m from an estimated \$20m through design work, value engineering and quickly securing contracts • This option satisfies the timeline requirements of the Shared Cost Agreement with the Province and Federal Government • Pre-project work such as verifying the technology to be used and treatability of the water will be completed as soon as possible • Quickest, most efficient path to bring Ucluelet’s drinking water to within acceptable levels defined by the Canadian Clean Water Drinking Act
		<u>Cons</u>	<ul style="list-style-type: none"> • A larger loan is required to complete the project than originally anticipated and higher debt servicing

		<ul style="list-style-type: none"> The Alternative Approval Process could be unsuccessful If the Alternative Approval Process is not approved, a referendum could be the next step If the Alternative Approval Process is not successful, the district would be responsible to cover the full costs of the pre-project work This path assumes that the project cost will be reduced to \$15m through design work and quickly secured contracts and that contingencies and price escalations won't be high There is continued uncertainty as to the total project cost which could be higher than \$15M 	
	<u>Implications</u>	<ul style="list-style-type: none"> Total project budget would be amended to \$15-20m The District loan would be \$8-13m instead of the \$2.56m originally planned A new Loan Authorization Bylaw will have to be created 	
B	Approve Preliminary Design work (\$500,000).	<u>Pros</u>	<ul style="list-style-type: none"> The project would be partially approved and moving forward on schedule Preliminary Design work would be completed in 2022 A cost update would be produced at end of Preliminary Design Completion of Preliminary Design and costs update would inform the next steps leading into 2023 Total project costs would be refined through design work and market uncertainty progressively reduced
		<u>Cons</u>	<ul style="list-style-type: none"> There could be little to no reduction in project costs realized at end of Preliminary Design A delayed Alternative Approval Process would be delayed until early 2023 due to the election. If the Alternative Approval Process is not successful, the district would be responsible to cover the full costs of the Preliminary Design An Alternative Approval Process or Referendum would still be required but deferred until after completing the Preliminary Design, thus making the project off schedule
		<u>Implications</u>	<ul style="list-style-type: none"> Completing Preliminary Design is a fraction of the cost of the total project
		<u>Suggested Resolution</u>	That Council approve Option B, authorize Staff to issue a Request for Proposal to complete Preliminary Design of the water treatment upgrade which will be funded through the water reserves and Investing in Canada Infrastructure Shared Cost Agreement.
C	Maintain existing systems with an increased flushing program.	<u>Pros</u>	<ul style="list-style-type: none"> No capital investment required. Level 3 water treatment operator not required. Reduced operational costs with respect to operating filtration systems.
		<u>Cons</u>	<ul style="list-style-type: none"> The water treatment system upgrade would be cancelled/deferred The received grant would be forfeited The District's sub-standard water quality would continue Municipal reputational damage for not correcting the water problems

		<ul style="list-style-type: none"> • Reduced likelihood of receiving future grant funding for water treatment and filtration. • Increased annual flushing program cost(s). • Increased need for annual flushing and reservoir cleaning.
	<u>Implications</u>	<ul style="list-style-type: none"> • Financial risk and burden are eliminated • Lost time and energy of all who have work on the Water Treatment Upgrade
	<u>Suggested Motion</u>	That Council approve option C, to direct Staff to maintain the existing water treatment system with an enhanced water system flushing program.

POLICY OR LEGISLATIVE IMPACTS:

- Loan Authorization Bylaw No. 1268, 2020 will need to be abandoned.
- Procurement and Disposal Policy 3-1200-5 which specifies procurement over \$100,000 require Council approval.

NEXT STEPS

- A new Loan Authorization Bylaw will be created for \$8-13m.
- Complete the pre-project work (bench testing, geotechnical investigations, survey and verifying water treatment methodology)
- Initiate the Alternative Approval Process and prepare to take an \$8-13m loan.
- Prepare a Request for Proposal for Design-Bid-Build of the total project.

Respectfully submitted: JAMES MACINTOSH, DIRECTOR OF ENGINEERING SERVICES
DUANE LAWRENCE, CAO



COST MANAGEMENT REPORT

*Ucluelet Water Treatment
Upgrades
Class D Estimate*

REPORT NUMBER 1.0

DECEMBER 22, 2021

PREPARED FOR:

Associated Engineering

Suite 300 – 30 East 6th Avenue, Vancouver, BC, V5T 1J4
T 604 734 3126

BTY.COM

*People to count on.
Knowledge to build with.*

Water Treatment System Upgrades James MacIntosh, Director of Engineering...



Contents

1.0	Introduction	1
2.0	Executive Summary	2
3.0	Development Cost Summary	3
4.0	Basis & Assumptions	4
5.0	Exclusions	5
6.0	Construction Cost Summary	6
7.0	Separate Price Items	6
8.0	Areas	7
9.0	Taxes	7
10.0	Project Schedule & Escalation	7
11.0	Pricing	8
12.0	Risk Mitigation	8
13.0	Contingencies	9
14.0	Documents Reviewed	9

APPENDICES:

APPENDIX I	Cost Plan – Mercantile Creek	8 pages
APPENDIX II	Cost Plan - LSCA	8 pages
APPENDIX III	Cost Plan - Highway Reservoir #2	3 pages
APPENDIX IV	Project Schedule	1 page

Prepared By	Reviewed By	Date
Keith Leung/Ping Pang	Eldon Lau	12/22/2021



1.0 Introduction

1.1 Instructions Received

This Report ("Report") has been prepared by BTY Group ("BTY") at the request of Associated Engineering (the "Client").

Associated Engineering has appointed BTY to provide an Order of Magnitude estimate developed for the Water Treatment Plant Upgrades for Mercantile Creek and Lost Shoe Creek Wellfield project at Ucluelet, B.C. (the "Project"). The Project delivery model has yet to be determined and, therefore, BTY strongly recommends that estimates are prepared at each of the key design milestones. This report has been prepared in accordance with the scope of our Fee Proposal, dated October 21, 2021, which was prepared in response to the Client's dated October 20, 2021, and is subject to the terms of that appointment.

Information related to the Project for the purposes of this report was received by BTY since October 20, 2021. Please refer to Section 14.0 for a list of information received in producing this report.

1.2 Reliance upon the Report

This Report is owned by BTY Group, and it is provided for the benefit and sole reliance of the Client. BTY Group, its directors, staff, or agents do not make any express or implied representation or warranty whatsoever as to the factual accuracy of the information provided to us on behalf the Client, its subcontractors, or agents, upon which this Report is based. This Report contains confidential, proprietary information and related intellectual property rights of BTY Group which is licensed on a non-exclusive and limited basis to the Client and the Report may not be reproduced, transferred, copied, shared, or distributed, in whole or in part, to any party other than the Lender, without the express prior written permission of BTY Group.

1.3 Reporting Qualifications

This Report has been prepared based on information provided to us by the Client up to the date of issue of this Report. BTY Group does not accept any liability or accountability for information that has not been provided, or made available to us, at the time of preparing this Report. Any advice, opinions, or recommendations within this Report should be read and relied upon only in the context of the report as a whole. The contents do not provide legal, insurance or tax advice or opinion. Opinions in this report do not an advocate for any party and if called upon to give oral or written testimony it will be given on the same assumption.

1.4 Contacts

If you have any queries in relation to this report, please contact:

BTY Group
Suite 300 – 30 East 6th Avenue
Vancouver, BC V5T 1J4

Per Ping Pang
Director
Tel: 604-734-3126
Email: pingpang@bty.com

Per Eldon Lau
Partner
Tel: 604-734-3126
Email: eldonlau@bty.com

Suite 300 – 30 East 6th Avenue, Vancouver, BC, V5T 1J4 | 604 734 3126

This report has been prepared at the request of Associated Engineering and is the exclusive property of BTY Group. The information must be treated as confidential and not to be disclosed, reproduced or permitted to be disclosed to any party without the prior consent of BTY Group.



2.0 Executive Summary

2.1 Report Purpose

The purpose of this report is to provide a realistic estimate of the Project cost based on the information available at the time of writing.

The opinion expressed in this report has been prepared without the benefit of detailed architectural, mechanical, electrical, or structural, civil and process mechanical drawings and should, therefore, be considered an Order of Magnitude (Class D) estimate. Based on the documents reviewed, our estimate should be correct within a range of approximately +/- 20% to 30%.

In order to provide an accurate cost estimate for the Project, BTY Group strongly recommends that a professional Quantity Surveying organization, such as BTY Group, be retained to provide a detailed analysis of any design information produced on behalf of the Client during the remaining stages of design.

2.2 Project Background and Description

The current groundwater source and supplemental surface water source for the District of Ucluelet, BC potable water do not meet current regulatory requirements with the existing treatment processes.

Lost Shoe Creek Aquifer (LSCA) is the primary water source for the District, while Mercantile is used as a supplemental source for high seasonal demands.

The estimate scope of work includes the following:

1. Upgrade treatment system for Mercantile Creek;
2. Upgrade treatment system for LSCA;
3. Construct new reservoir (1,400m³ capacity) located at Highway Reservoir.

The proposed WTP in Mercantile Creek is an addition of a single storey building with a footprint of 11m x 9m as well as a 4m x 5m extension for the storage of CIP chemicals and neutralizers.

The proposed WTP in LSCA is an addition of a single storey building with a footprint of 25m x 15m with an internal height of 4.5m with a below grade residuals tank. A new access road will be required from the Highway to the new WTP.

The proposed Highway Reservoir, which is 1,400m³ in capacity and bolted steel built, will be installed beside the existing Highway Reservoir No. 1.



Executive Summary (Cont'd)

2.3 Project Overview

Construction Budget Status	Details
Current Estimate	\$20,745,400
Variance from Last Estimate	Not applicable
Project Specifics	
Construction Start	Sep 2023
Construction Completion	Oct 2026
Duration - Mercantile Creek	10 months
Duration - LSCA	10 months
Duration - Highway Reservoir	6 months
Escalation - Mercantile Creek	9.2%
Escalation - LSCA	16.2%
Escalation - Highway Reservoir	20.1%
Design Contingency	20%
Construction Contingency	10%

3.0 Development Cost Summary

The current estimated cost of the project may be summarized as follows:

	Item	Estimated Costs (\$)
A	Land Cost (Excluded)	0
B	Construction	13,707,800
C	Contingencies	4,386,500
D	Professional Fees	0
E	Municipal & Connection Fees	0
F	Management & Overhead	0
G	Project Contingency	0
H	Furnishing, Fittings & Equipment	0
I	Financing Costs	0
J	Goods & Services Tax	0
	Total Project Cost (Dec 2021 Dollars)	\$18,094,300
K	Escalation	2,651,100
	Escalated Project Cost (Oct 2026 Dollars)	\$20,745,400

Please note that, where zero dollar values are stated, BTY has excluded these costs and the values should be carried in a separate budget (if applicable).



4.0 Basis & Assumptions

The construction estimate is based on the following list of assumptions:

1. 500mm thick raft foundations
2. Concrete masonry unit (CMU) exterior walls
3. Wood trusses roof
4. 300mm thick CIP reinforced concrete cover for waste equalization tank
5. CMU interior walls
6. Sealer floor finish, paint finish to walls and exposed ceilings
7. 4m interior height for Mercantile Creek Treatment Plant
8. Allowance of \$100,000 for site cut and fill
9. Please refer to Cost Plans on Appendix II to IV for other assumptions.
10. Mercantile membrane filter - 40LMH instantaneous flux
11. Backwash water recycle system for the Lost Shoe Creek
12. Electric water heater for the Lost Shoer Creek washroom domestic hot water requirement
13. Sanitary & domestic water system service connection is existing

Please note that BTY is not qualified to act as design consultant. The assumptions in our estimate should be reviewed and corrected by the design team.



5.0 Exclusions

The project cost estimate includes all direct and indirect construction costs derived from the drawings and other information provided by the Consultants, except for the following:

1. Land costs
2. Financing costs
3. Legal fees and agreement costs / conditions
4. Building permits and development cost charges
5. Temporary facilities for user groups during construction
6. Removal of hazardous materials from existing site and building
7. Loose furnishings and equipment
8. Unforeseen ground conditions and associated extras
9. Phasing of the works and accelerated schedule
10. Decanting & moving
11. Costs associated with "LEED" certification
12. Project commissioning
13. Erratic market conditions, such as lack of bidders, proprietary specifications
14. Cost escalation past October 2026



6.0 Construction Cost Summary

The estimated construction cost of the project may be summarized as follows:

Description	Mercantile Creek	LSCA Upgrades	Highway Reservoir #2	TOTAL
Structural	330,700	802,300	51,700	1,184,700
Architectural	249,100	578,200	Included	827,300
Building Mechanical	55,600	192,500	No works	248,100
Building Electrical	58,100	141,800	No works	199,900
Process Mechanical	1,961,400	3,554,900	No works	5,516,300
Instrumentation & Contols	164,400	276,000	No works	440,400
Site Work	294,700	453,600	1,279,000	2,027,300
Ancillary Work (Demolition)	0	0	0	0
General Requirements	778,500	1,499,800	332,700	2,611,000
Fees	194,600	375,000	83,200	652,800
Subtotal Construction Cost	\$4,087,100	\$7,874,100	\$1,746,600	\$13,707,800
Design Allowance	817,400	1,574,800	349,300	2,741,500
Construction Allowance	490,500	944,900	209,600	1,645,000
Total Construction Cost	\$5,395,000	\$10,393,800	\$2,305,500	\$18,094,300
Escalation Allowance	498,700	1,688,700	463,700	2,651,100
Escalated Construction Cost	\$5,893,700	\$12,082,500	\$2,769,200	\$20,745,400

7.0 Separate Price Items

Separate price items, which are not included in the Base Cost Estimate, are as follows:

Items	Description	Amt (\$)
1	Mercantile Creek: Provisional allowance included inline flash mixer, flocculation chamber & pump skid, buffer tank, pipes, valves & fittings, instrumentation & control including sensors, gauges, actuators, control valves, tie up new equipment to control system & reprogramming & etc	\$1,030,000
2	LSCA: Provisional allowance included pressure oxidant contact tank, station inline mixer, UV reactor (N+1), pipes, valves & fittings, instrumentation & control including sensors, gauges, actuators, control valves, tie up new equipment to control system & reprogramming & etc	\$920,000

The amount includes general requirements & fee, design, and construction contingencies.



8.0 Areas

The gross floor area of the project, measured in accordance with the guidelines established by the Canadian Institute of Quantity Surveyors, is:

Location	LSCA WTP	Mercantile Creek WTP
Level 1	375 m ²	129 m ²
Total Gross Floor Area	375 m²	129 m²

9.0 Taxes

The estimate includes the Provincial Sales Tax (P.S.T.) where applicable.

The estimate excludes the Goods & Services Tax (G.S.T.).

10.0 Project Schedule & Escalation

For the purpose of identifying and quantifying the escalation allowance for this project, BTY has based on the construction schedule provided by the Client:

Activity	Start	Finish	Duration
Mercantile Creek	Sep-23-2023	Jun-28-2024	10 months
LSCA	May-05-2025	Feb-06-2026	10 months
Highway Reservoir	May-04-2026	Oct-16-2026	6 months

Based on the above schedule, the mid-point of construction for the **Mercantile Creek** is projected to be February 9, 2024, which is 27 months from the date of this estimate. On this basis, BTY has calculated the escalation for this project to be **9.2%**.

Based on the above schedule, the mid-point of construction for the **LSCA** is projected to be September 20, 2025, which is 46 months from the date of this estimate. On this basis, BTY has calculated the escalation for this project to be **16.2%**.

Based on the above schedule, the mid-point of construction for the **Highway Reservoir** is projected to be July 25, 2026, which is 56 months from the date of this estimate. On this basis, BTY has calculated the escalation for this project to be **20.1%**.



Our current projected escalation rates are shown below. In the event that there is slippage in the schedule, further escalation based on the projected escalation rate per annum should be included in the estimate.

Current BTY Group Forecast	2022	2023+
	4%	4%

11.0 Pricing

This estimate has been priced at Fourth quarter 2021 rates assuming a normal market. The unit rates utilized are considered appropriate for a project of this type, bid under a Design-Bid-Build model in an open market, with a minimum of five (5) bids, supported by a sufficient number of sub-contractors to ensure competitiveness.

The estimate does not take into account the extraordinary market conditions currently being experienced as a result of COVID-19 nor its potential impact on construction costs in the form of site closures, social distancing requirements, shortages of materials nor other issues that may be affecting productivity and capacity.

The estimate allows for labour, material, equipment and other input costs at current rates and levels of productivity. It does not consider extraordinary market conditions, where bidders may be few and may include in their tenders' disproportionate contingencies and profit margins.

12.0 Risk Mitigation

BTY Group recommends that the Owner, Project Manager and Design Team carefully review this document, including exclusions, inclusions and assumptions, contingencies, escalation, and mark-ups. If the project is over budget, or if there are unresolved budgeting issues, alternative systems/schemes should be evaluated before proceeding into the next design phase.

Requests for modifications of any apparent errors or omissions to this document must be made to BTY Group within ten (10) days of receipt of this estimate. Otherwise, it will be understood that the contents have been concurred with and accepted.

It is recommended that BTY Group design and propose a cost management framework for implementation. This framework would require that a series of further estimates be undertaken at key design stage milestones and a final update estimate be produced which is representative of the completed tender documents, project delivery model and schedule. The final updated estimate will address changes and additions to the documents, as well as addenda issued during the bidding process. BTY Group is unable to reconcile bid results to any estimate not produced from bid documents including all addenda.



13.0 Contingencies

13.1 Design Contingency

A design contingency of Twenty Percent (20%) has been included in the estimate to cover modifications to the program, drawings, and specifications during the design.

13.2 Construction Contingency

An allowance of Ten Percent (10%) has been included in the estimate for changes occurring during the construction period of the project. This amount may be expended due to site conditions or if there are modifications to the drawings and specifications.

14.0 Documents Reviewed

The list below confirms the information reviewed in preparing our report:

Description		Revised Date
Report		
	Feasibility study of Water Treatment Upgrades for Mercantile Creek and Lost Shoe Creek Wellfield	Feb 2020
	Project Schedule	Non-dated



COST MANAGEMENT REPORT

Ucluelet Water Treatment Upgrades

APPENDICES

APPENDIX I	Cost Plan – Mercantile Creek	8 pages
APPENDIX II	Cost Plan - LSCA	8 pages
APPENDIX III	Cost Plan - Highway Reservoir #2	3 pages
APPENDIX IV	Project Schedule	1 page

Suite 300 – 30 East 6th Avenue, Vancouver, BC, V5T 1J4
T 604 734 3126

BTY.COM

*People to count on.
Knowledge to build with.*



APPENDIX I

*Cost Plan – Mercantile
Creek*

8 PAGES



Description	Quantity	Unit	Rate	Amount
Mercantile Creek Upgrades				
A. Structural				
<u>Treatment Plant Building</u>				
Allowance for raft foundations - 0.5m thick	65	m ³	2,280.00	147,200
Allowance for exterior CMU walls painted - 4.0m high	205	m ²	540.00	110,600
Allowance for wood trusses roof	129	m ²	420.00	54,200
Allowance for miscellaneous concrete - housekeeping pads, benches, etc	1	sum	18,720.00	18,700
Allowance for CIP tanks: CIP Tank - 1 no. CIP chemical storage tanks - 4 nos			Included in Process Mechanical	
<u>Total Structural</u>				<u>\$330,700</u>

Ucluelet Water Treatment Upgrades
Class D Estimate #1.0

December 22, 2021

Description	Quantity	Unit	Rate	Amount
Mercantile Creek Upgrades				
B. Architectural				
<u>Treatment Plant Building</u>				
Exterior Enclosure				
Allowance for furring, insulation to exterior CMU walls - 4.0m high	205	m ²	360.00	73,700
Exterior hollow metal single door	1	lvs	4,200.00	4,200
Exterior hollow metal double door	1	pair	7,200.00	7,200
Exterior roll up door - 3m x 3.5m	11	m ²	3,000.00	31,500
Roof covering	129	m ²	300.00	38,700
Partitions & doors				
Allowance for interior CMU walls with rebar strengthening, 4.5m high	52	m ²	480.00	25,100
Interior hollow metal single door	2	lvs	3,600.00	7,200
Finishes				
Sealer floor finishes	129	m ²	78.00	10,100
GWB Ceiling Finishes w/ paint finish	129	m ²	240.00	31,000
Wall Finishes - paint finish	337	m ²	24.00	8,100
Fittings & Equipment				
Allowance for metals	129	m ²	60.00	7,700
Allowance for corner guards, wall protections, etc	129	m ²	36.00	4,600
<u>Total Architectural</u>				<u>\$249,100</u>

Description	Quantity	Unit	Rate	Amount
Mercantile Creek Upgrades				
C. Building Mechanical				
Allowance for plumbing and drainage	129	m ²	144.00	18,600
Fire Protection (allowance for fire extinguishers only)	1	sum	600.00	600
HVAC included ventilation & heating, ductwork & distribution & other associated works	129	m ²	240.00	31,000
DDC Control	129	m ²	42.00	5,400
Total Building Mechanical				\$55,600

Description	Quantity	Unit	Rate	Amount
Mercantile Creek Upgrades				
D. Building Electrical				
Service & distribution included control panel & feeder, equipment power connection, grounding & other associated works	129	m ²	240.00	31,000
Lighting, devices & heating	129	m ²	120.00	15,500
Systems & ancillaries including fire alarm, data & communication	129	m ²	90.00	11,600
Total Building Electrical				\$58,100

Ucluelet Water Treatment Upgrades
Class D Estimate #1.0

December 22, 2021

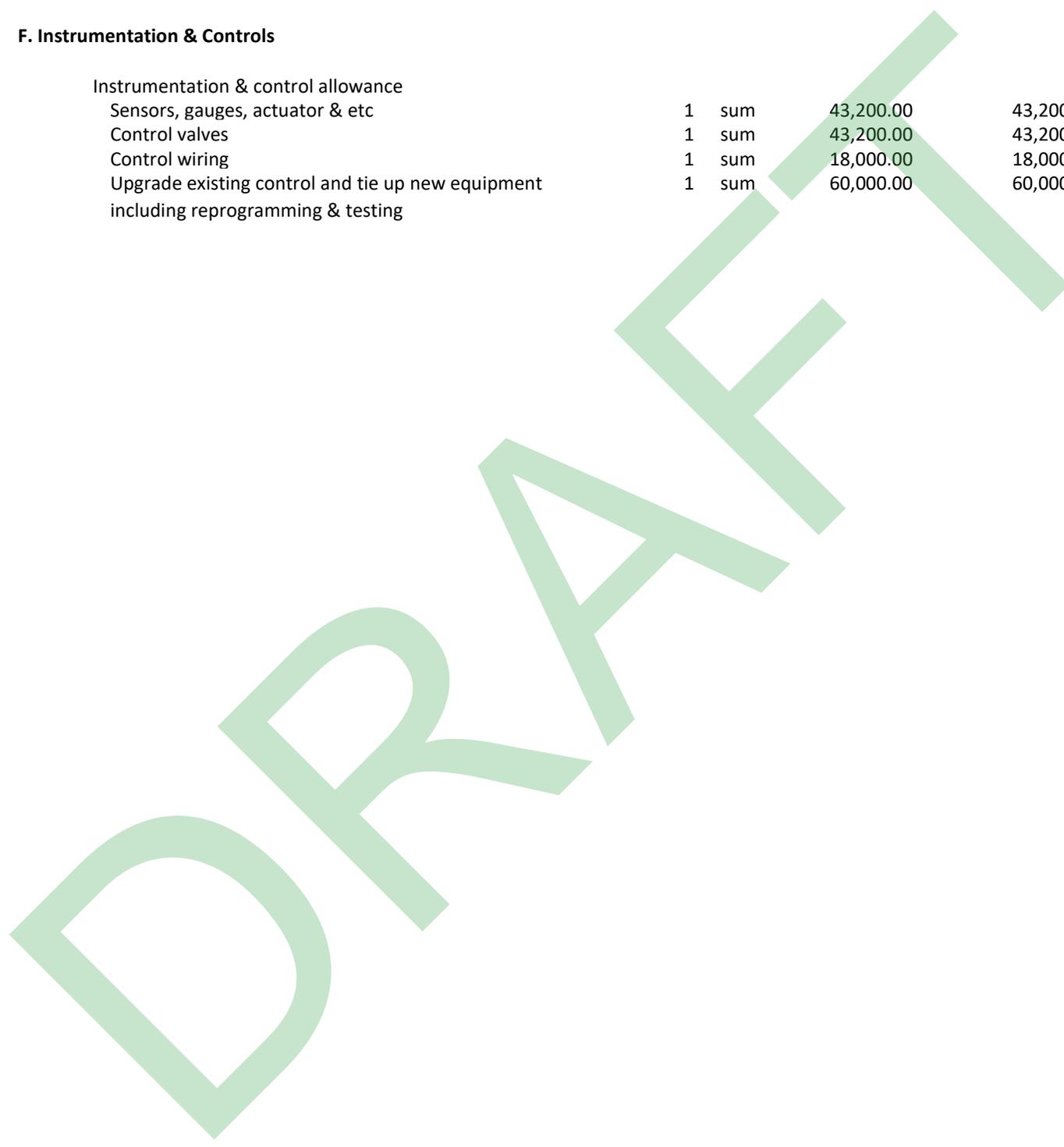
Description	Quantity	Unit	Rate	Amount
Mercantile Creek Upgrades				
E. Process Mechanical				
Equipment				
Supply & install including membrane filtration system, MIT pipework, compressor, inlet screens, permeate turbidity meters, 5x chemical dosing units, plus non-equipment scope of supply including: process design/review, engineering documentation, commissioning, freight, 247 and Insight for 2 years.	1	sum	1,814,400.00	1,814,400
Soda ash mixing tank & metering pump		included		
Coagulant storage & metering pump - included		included		
CIP Pump Skid		included		
CIP tank (6m3)		included		
CIP chemical storage & metering (acids, chlorine, neutralizers)		included		
Back Pulse Pump - included		included		
Back Pulse storage Tank (not applicable in the model)		included		
Compressors & blowers for hydraulic clean		included		
Acid neutralization assembly		included		
Dechlorination assembly		included		
Feed pump		included		
Strainers - two (2) fine screen membranes at 0.5mm pore		included		
Chemical storage tank allowance	1	sum	6,000.00	6,000
Piping Allowance				
Allowance for pipe (interconnecting), valves & fittings and piping connections to existing system	1	sum	141,000.00	141,000
Miscellaneous				
As built drawings		included		
Testing & commissioning		included		
Waste Equalization tank - outside the scope of upgrade		excluded		
Total Process Mechanical				\$1,961,400

Description	Quantity	Unit	Rate	Amount
-------------	----------	------	------	--------

Mercantile Creek Upgrades

F. Instrumentation & Controls

Instrumentation & control allowance				
Sensors, gauges, actuator & etc	1	sum	43,200.00	43,200
Control valves	1	sum	43,200.00	43,200
Control wiring	1	sum	18,000.00	18,000
Upgrade existing control and tie up new equipment including reprogramming & testing	1	sum	60,000.00	60,000



Total Instrumentation & Controls			\$164,400
---	--	--	------------------

Ucluelet Water Treatment Upgrades
Class D Estimate #1.0

December 22, 2021

Description	Quantity	Unit	Rate	Amount
Mercantile Creek Upgrades				
G. Site Work				
Allowance for site preparation	1	sum	15,480.00	15,500
Allowance for site cut and fill	1	sum	120,000.00	120,000
Allowance for asphalt access (50m long x 4m wide)	1	sum	60,000.00	60,000
Allowance for chain-link fences (150m long)	1	sum	63,000.00	63,000
Ground Improvements		not required		
Preloading		not required		
Allowance for environmental mitigation	1	sum	6,000.00	6,000
Relocation of existing fire hydrant	1	no.	7,800.00	7,800
Relocation of existing electrical pole	1	no.	3,000.00	3,000
Site Mechanical				
Ex hydrant to be relocated including new piping, reconnection & testing	1	sum	6,840.00	6,800
Site Electrical				
Relocation of ex electrical pole	1	sum	3,600.00	3,600
Allowance for new pole mounted lighting	1	sum	9,000.00	9,000
Total Site Work				\$294,700

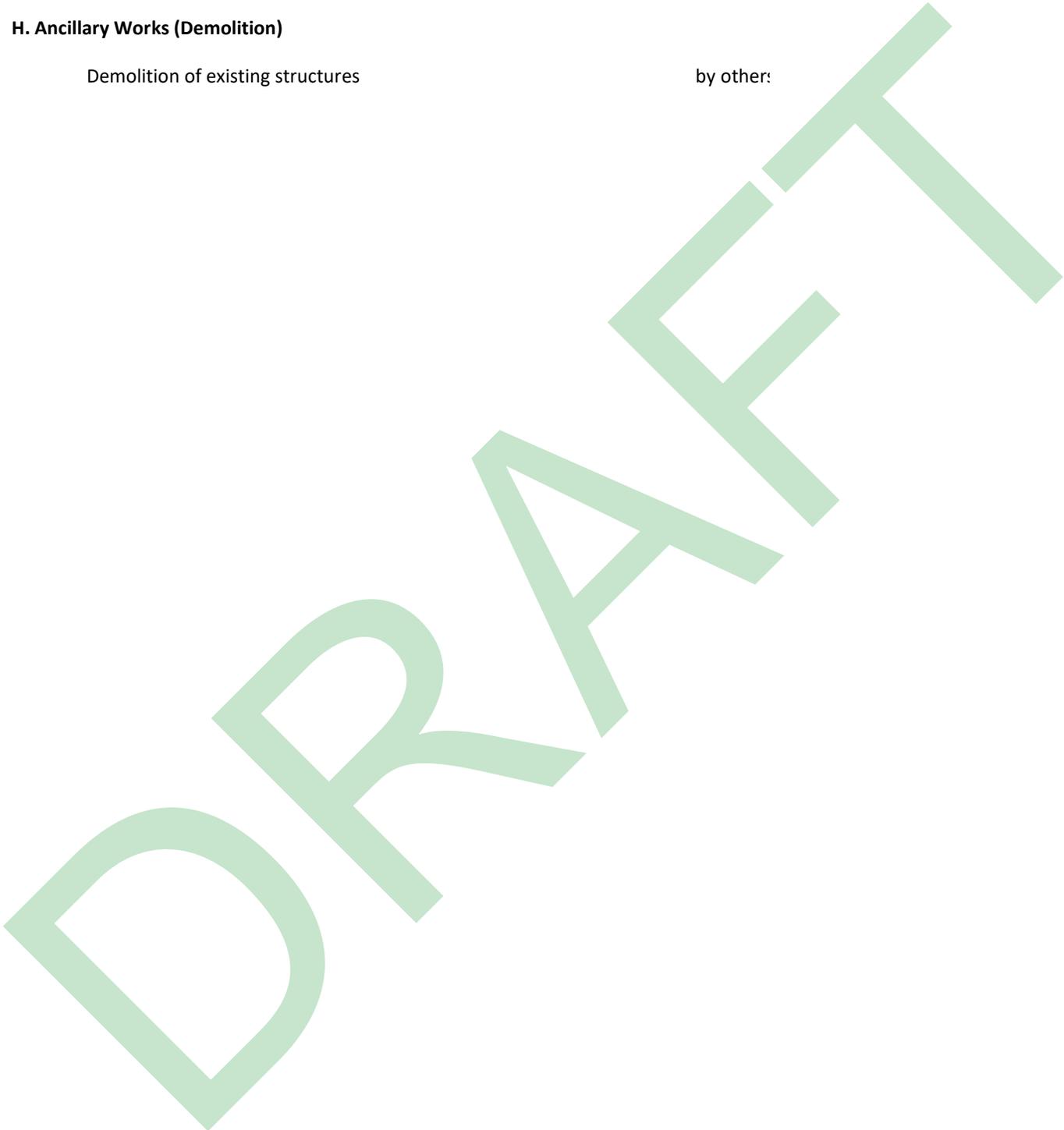
Description	Quantity	Unit	Rate	Amount
-------------	----------	------	------	--------

Mercantile Creek Upgrades

H. Ancillary Works (Demolition)

Demolition of existing structures

by other:



Total Ancillary Works (Demolition)

The BTY logo consists of the lowercase letters 'bty' in a bold, sans-serif font, followed by a stylized orange and red swoosh that curves upwards and to the right.

bty

APPENDIX II

Cost Plan - LSCA

8 PAGES

DRAFT

BTY.COM

*People to count on.
Knowledge to build with.*

Description	Quantity	Unit	Rate	Amount
LSCA Wellfield Upgrades				
A. Structural				
<u>Treatment Plant Building</u>				
Allowance for raft foundations - 0.5m thick	188	m ³	2,160	405,000
Allowance for exterior CMU walls painted - 4.5m high	360	m ²	540	194,400
Allowance for wood trusses roof	375	m ²	420	157,500
Allowance for miscellaneous concrete - housekeeping pads, benches, etc	1	sum	45,360	45,400
<u>Total Structural</u>				<u>\$802,300</u>

Description	Quantity	Unit	Rate	Amount
LSCA Wellfield Upgrades				
B. Architectural				
<u>Treatment Plant Building</u>				
Exterior Enclosure				
Allowance for furring, insulation to exterior CMU walls - 4.5m high	360	m ²	360	129,600
Exterior hollow metal single door	1	lvs	4,200	4,200
Exterior roll up door - 3m x 3.5m	11	m ²	3,000	31,500
Roof covering	375	m ²	300	112,500
Partitions & doors				
Allowance for interior CMU walls with rebar strengthening, 4.5m high	216	m ²	480	103,700
Interior hollow metal single door	6	lvs	3,600	21,600
Finishes				
Sealer floor finishes	375	m ²	78	29,300
GWB Ceiling Finishes w/ paint finish	375	m ²	240	90,000
Wall Finishes - paint finish	792	m ²	24	19,000
Fittings & Equipment				
Allowance for metals	375	m ²	60	22,500
Allowance for washroom accessories	1	room	780	800
Allowance for corner guards, wall protections, etc	375	m ²	36	13,500
<u>Total Architectural</u>				<u>\$578,200</u>

Description	Quantity	Unit	Rate	Amount
LSCA Wellfield Upgrades				
C. Building Mechanical				
Plumbing & drainage including washroom fixtures & electric heater, domestic water & drainage system & other accessories	375	m ²	150	56,300
Fire Protection (allowance for fire extinguishers only)	1	sum	1,200	1,200
HVAC included ventilation & heating, ductwork & distribution & other associated works	375	m ²	300	112,500
DDC Control	375	m ²	60	22,500
Total Building Mechanical				\$192,500

Description	Quantity	Unit	Rate	Amount
LSCA Wellfield Upgrades				
D. Building Electrical				
Service & distribution included control panel & feeder, equipment power connection, grounding & other associated works	375	m ²	216	81,000
Lighting, devices & heating	375	m ²	96	36,000
Systems & ancillaries including fire alarm, data & communication	375	m ²	66	24,800
Total Building Electrical				\$141,800

Ucluelet Water Treatment Upgrades
Class D Estimate #1.0

December 22, 2021

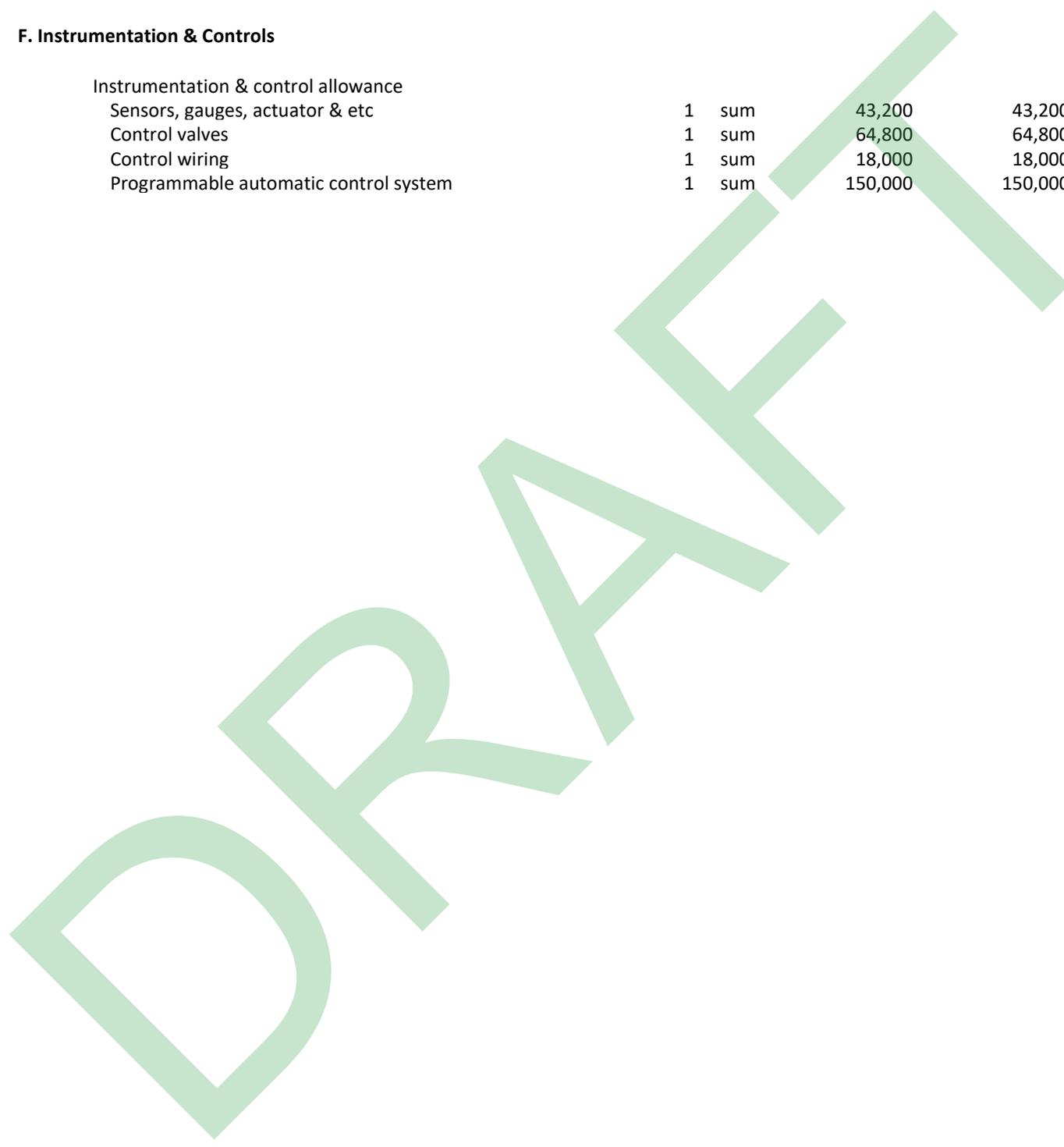
Description	Quantity	Unit	Rate	Amount
LSCA Wellfield Upgrades				
E. Process Mechanical				
Equipment				
Supply & install including pressurized media filtration, 4pressurized carbon steel filters operating parallel, each filter 1.8m diameter x 1.5m height, filter will be constructed from epoxy coated carbon steel. Completed with underdrain system, each vessel will contain a 455mm bed depth of anthracite and a 610mm bed depth of green sand media. The filters will have filtration rate of 15m/h with three vessels in operation and one filter as standby, and 12m/h with all four vessels in operation & other accessories	1	sum	1,539,000	1,539,000
Chlorination - Hypochlorite addition/injection - including dosing pump & chlorine injector assembly, 94l/s		included		
Chlorination - Hypochlorite (Residual top up) addition/injection - including dosing pump & chlorine injector assembly, 84l/s		included		
Waste equalization tank 15mx15mx4.5m	1	sum	1,701,000	1,701,000
Waste equalization tank pump skid	1	sum	60,000	60,000
SHS Tote (Sodium Hypochlorite Tote, 1230L x2)	2	no	1,800	3,600
Backwash supply items	1	sum	30,000	30,000
Supply & install backwash treatment/recycle system	1	sum	133,650	133,700
One (1) Duplex Recycle Pump Skid		included		
One (1) Duplex Sludge Pump Skid		included		
One (1) Duplex Bag Filter Skid		included		
One (1) lot of Auto and Manual Valves		included		
One (1) lot of Field Instrumentation		included		
One (1) lot of Controls Adder (H2Zero system components will be interconnected with and controlled from the AdEdge Main Filter Control Panel)		included		
One (1) lot of Additional Startup of H2Zero system		included		
One (1) lot of Additional T&L for H2Zero system		included		
Piping				
Allowance for pipe (interconnecting), valves & fittings and piping connections to equipment	1	sum	3,600	3,600
Miscellaneous				
Seismic restraint	1	sum	18,000	18,000
As built drawings	1	sum	6,000	6,000
Testing, & commissioning	1	sum	60,000	60,000
Total Process Mechanical				\$3,554,900

Description	Quantity	Unit	Rate	Amount
-------------	----------	------	------	--------

LSCA Wellfield Upgrades

F. Instrumentation & Controls

Instrumentation & control allowance				
Sensors, gauges, actuator & etc	1	sum	43,200	43,200
Control valves	1	sum	64,800	64,800
Control wiring	1	sum	18,000	18,000
Programmable automatic control system	1	sum	150,000	150,000



Total Instrumentation & Controls			\$276,000
---	--	--	------------------

Ucluelet Water Treatment Upgrades
Class D Estimate #1.0

December 22, 2021

Description	Quantity	Unit	Rate	Amount
LSCA Wellfield Upgrades				
G. Site Work				
Allowance for site preparation	1	sum	57,000	57,000
Allowance for site cut and fill	1	sum	120,000	120,000
Allowance for asphalt access (100m long x 4m wide)	1	sum	120,000	120,000
Allowance for chain-link fences (200m long)	1	sum	84,000	84,000
Ground Improvements		assume not required		
Preloading		assume not required		
Allowance for environmental mitigation	1	sum	12,000	12,000
Site Mechanical				
Allowance for building water main including connection to existing	1	sum	21,000	21,000
Allowance for building sanitary main including connection to existing	1	sum	30,600	30,600
Site Electrical				
Allowance for new pole mounted lighting	1	sum	9,000	9,000
Total Site Work				\$453,600

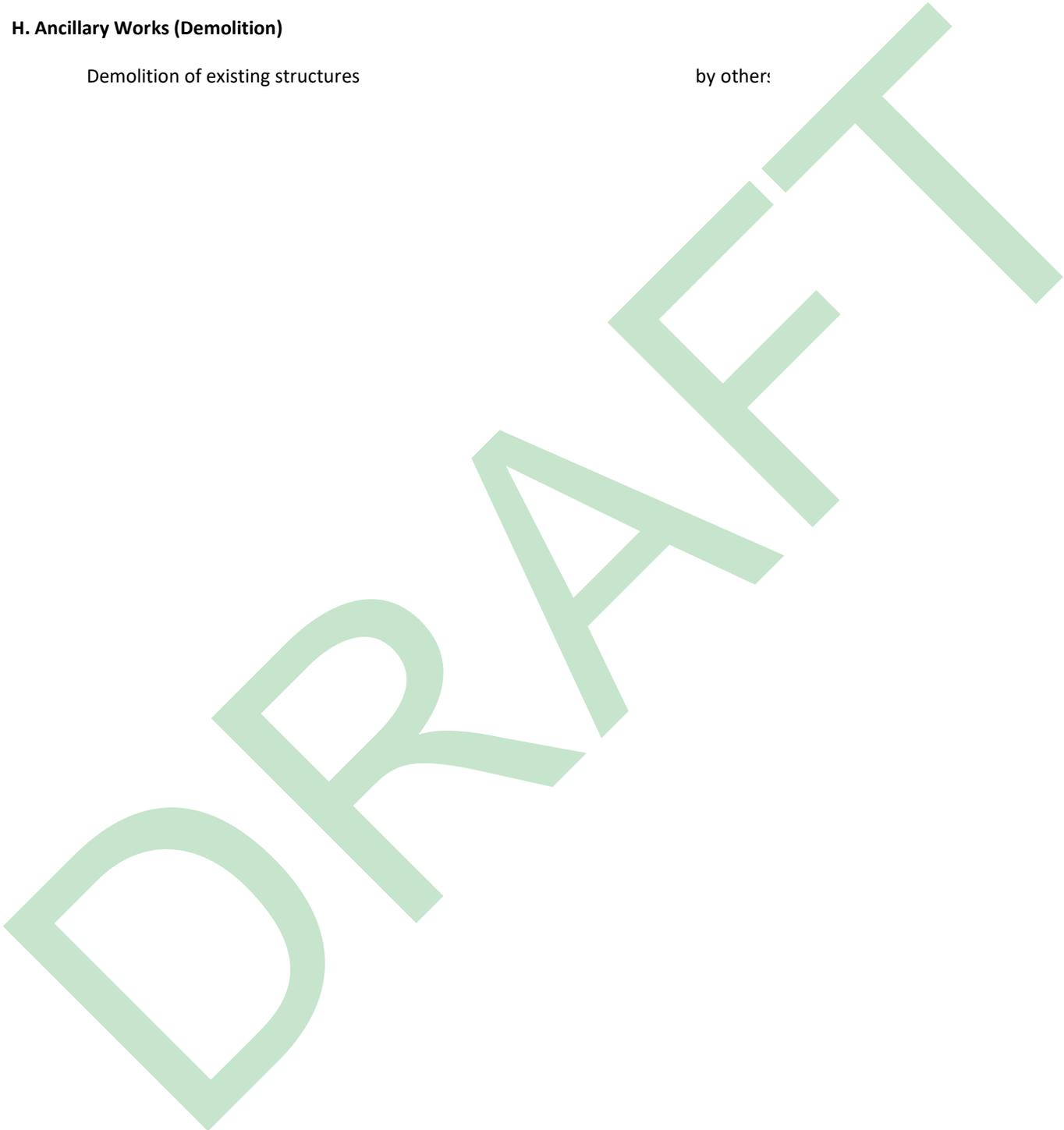
Description	Quantity	Unit	Rate	Amount
-------------	----------	------	------	--------

LSCA Wellfield Upgrades

H. Ancillary Works (Demolition)

Demolition of existing structures

by other:



Total Ancillary Works (Demolition)



btty

APPENDIX III

*Cost Plan - Highway
Reservoir #2*

3 PAGES

BTY.COM

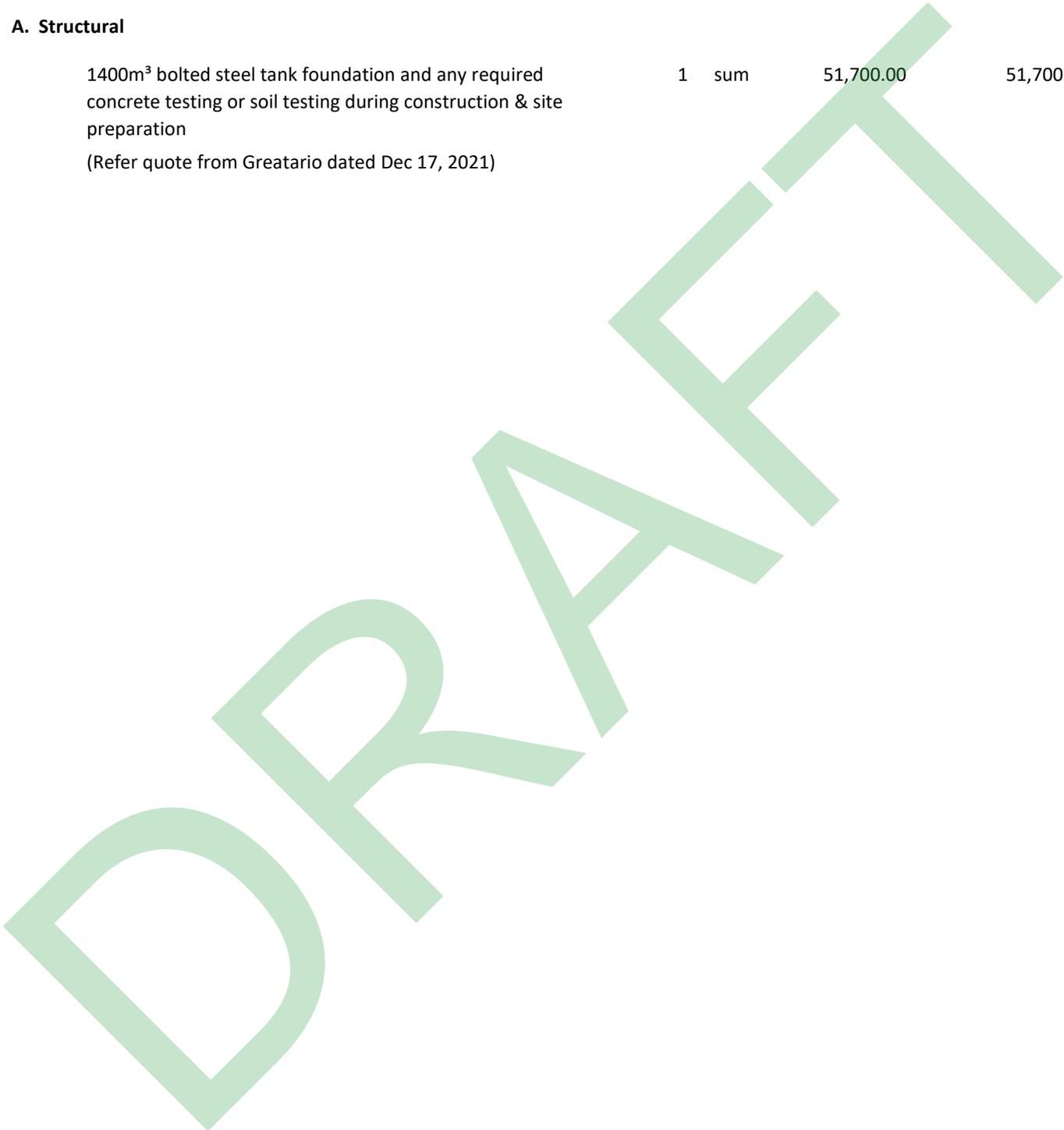
*People to count on.
Knowledge to build with.*

Description	Quantity	Unit	Rate	Amount
-------------	----------	------	------	--------

Highway Reservoir #2

A. Structural

1400m ³ bolted steel tank foundation and any required concrete testing or soil testing during construction & site preparation (Refer quote from Greatario dated Dec 17, 2021)	1	sum	51,700.00	51,700
---	---	-----	-----------	--------



Total Structural			\$51,700
-------------------------	--	--	-----------------

Description	Quantity	Unit	Rate	Amount
Highway Reservoir #2				
G. Site Work				
Site Mechanical				
Steel Bolted 1400m ³ water tank c/w submersible mixer	1	sum	1,072,600.00	1,072,600
Piping hook up of tank to the existing water line c/w isolation valves, tees, elbows, tapping & etc.	1	sum	160,800.00	160,800
Tank testing water supply fill & disposal	1	sum	3,600.00	3,600
Clean up & flushing/disinfection	1	sum	6,000.00	6,000
Site Electrical				
Tank submersible mixer power supply	1	sum	6,000.00	6,000
Tank perimeter pole mounted lighting	2	no	12,000.00	24,000
Lightning arrester	1	sum	6,000.00	6,000
Total Site Work				\$1,279,000

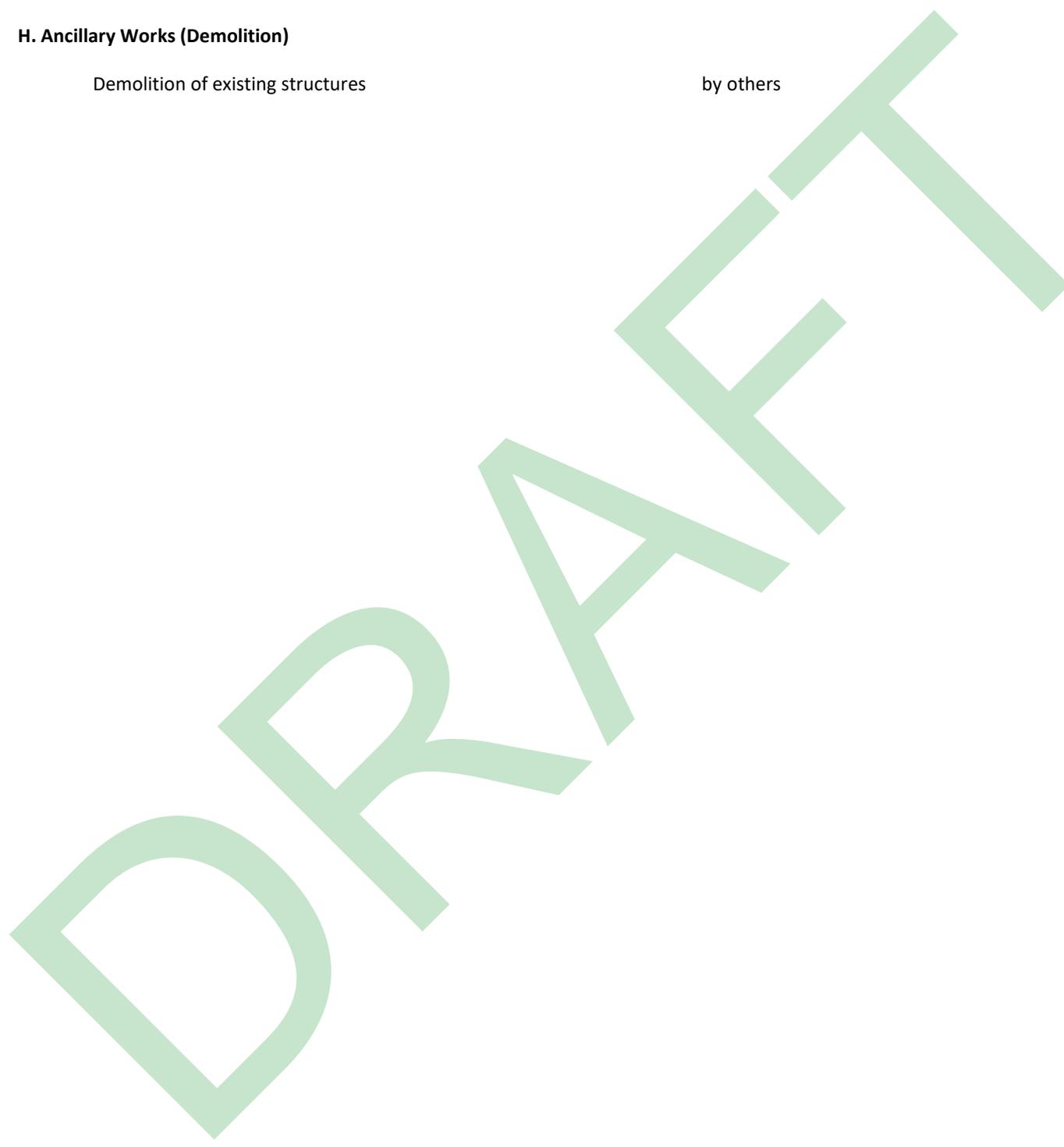
Description	Quantity	Unit	Rate	Amount
-------------	----------	------	------	--------

Highway Reservoir #2

H. Ancillary Works (Demolition)

Demolition of existing structures

by others



Total Ancillary Works (Demolition)

The BTY logo consists of the lowercase letters "bty" in a bold, sans-serif font, followed by a stylized swoosh that starts as a thin orange line and curves into a thicker red line.

APPENDIX IV

Project Schedule

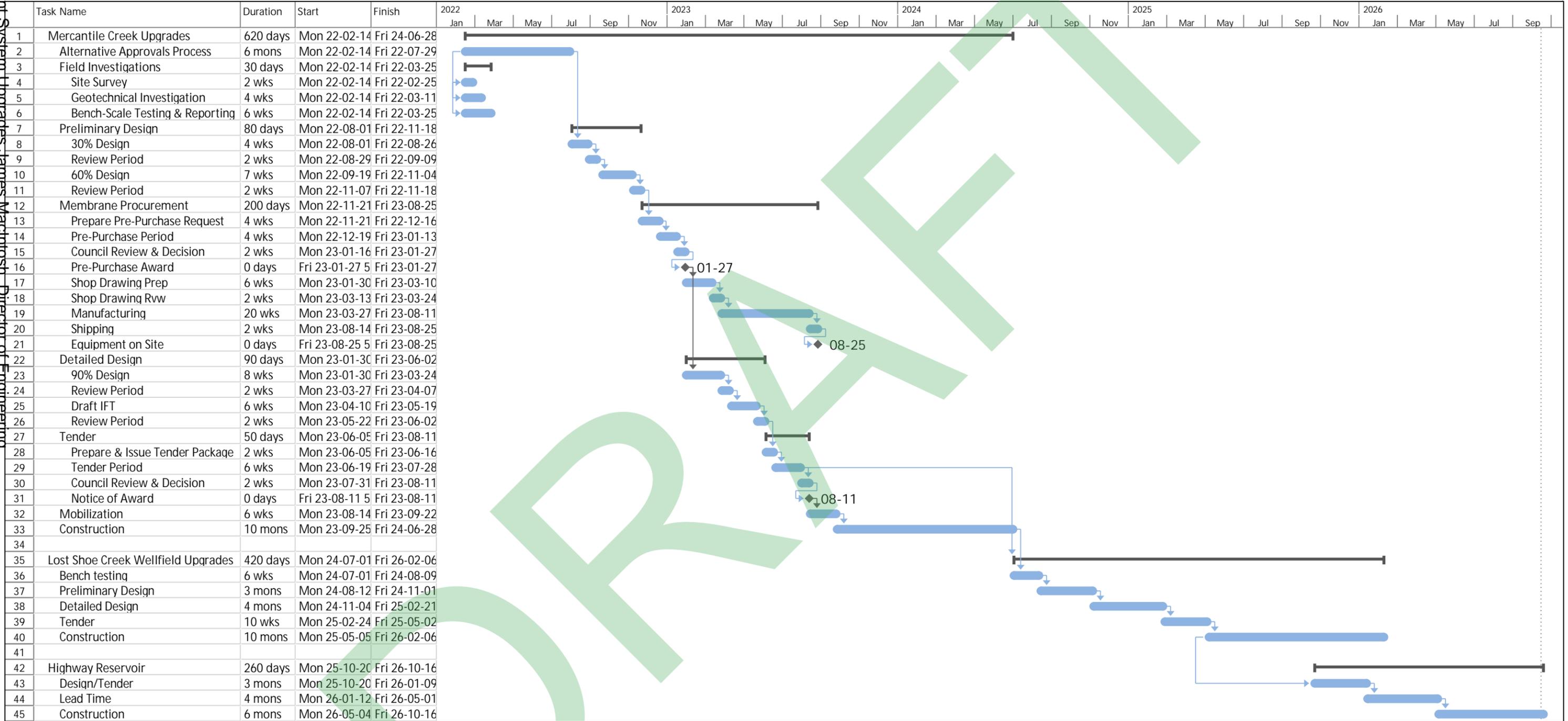
1 PAGE

DRY

BTY.COM

*People to count on.
Knowledge to build with.*

Water System Upgrades





DRAFT

*Global Development &
Infrastructure Consultants*



REPORT TO COUNCIL

Council Meeting: February 22, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM:	BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING	FILE NO: 6830-02
SUBJECT:	INTERIM POLICY FOR EARLY REFERRAL OF DEVELOPMENT APPLICATIONS TO YUULU?I?ATH? GOVERNMENT FOR COMMENT	
ATTACHMENT(S):	DRAFT POLICY 13-6830-01	REPORT NO: 22- 19

RECOMMENDATION(S):

THAT Council approve Option A, to adopt the Referrals Yuulu?i?ath? Government Interim Policy 13-6830-01 for early referral of development applications to the Yuulu?i?ath? Government for review and comment; and,

THAT Council invite discussion with the Yuulu?i?ath? Government on developing communication and referral protocols for proposed developments and operations within the municipality.

BACKGROUND:

The recently adopted *District of Ucluelet Official Community Plan Bylaw No. 1236, 2020*, includes the following policies:

***Policy 1.8** Endeavour to understand and consider Indigenous perspectives when making decisions on land-use issues.*

***Policy 1.9** Develop, in partnership with the Yuulu?i?ath? Government, a protocol for referral and input on proposed developments and/or operations which might impact Yuulu?i?ath? lands, resources and/or culture.*

***Policy 3.37** Develop, in partnership with the Yuulu?i?ath? Government, a protocol for referral and input on development proposals within the areas of high archaeological and cultural potential identified on Map 3.*

***Policy 3.41** Development proposals will be reviewed in relation to existing and possible archaeological sites, and where sites are apparent, the owner will be notified of their responsibility for complying with the requirements of the provincial Heritage Conservation Branch.*

Currently, when a landowner makes a property inquiry or development application, staff refer to the provincial database of known archaeological sites and provide a copy of the “local government notification” form letter which is provided by the BC Archaeology Branch. Depending on the circumstances, that may or may not trigger the property owner to contact the Archaeology Branch

and/or hire an archaeologist to assess their land. This is consistent with OCP policy 3.41. This process will continue.

The above Provincial process addresses preservation of known, documented sites of archaeological evidence - but does not necessarily address sites of cultural importance.

When a development application involves a zoning amendment bylaw or OCP amendment bylaw, part of the legislated process includes giving notice and holding a public hearing. Individuals and agencies may become aware of the development proposal and choose to provide comment as part of this process. For OCP amendment bylaws, Council also considers whether the nature of the amendment should include early and ongoing consultation with external agencies.

The proposed new interim policy for referring development applications to staff at the Yuułu?i?ath Government (YG) aims at:

- improving communications with YG;
- taking concrete steps to better consider Indigenous perspectives when making decisions on land use issues; and,
- streamlining the development application process.

Developing a fulsome protocol for referrals in partnership with the Yuułu?i?ath Government, consistent with OCP policies 1.9 and 3.37, will take some time. The proposed interim policy is intended to fill the gap until such time as a protocol is established by mutual agreement - following government-to-government discussions. The proposed policy will ensure that the Yuułu?i?ath Government is aware of major development applications much earlier in the process than the typical notification for a public hearing. Adopting the interim policy would take initial steps to act on OCP policy 1.8.

At this point in time, interest in developing properties in Ucluelet is intense. Adopting an interim policy will immediately enable better communication and consideration of Indigenous perspectives – and would remove the pressure to rush discussions on developing communication protocols with our neighbours. Those discussions deserve to unfold at a pace that works for both parties.

The proposed interim policy could also avoid delays in the process of development review and approval. If values, issues or concerns are identified for a particular site it is far better that they be identified early in the process rather than later at the public hearing stage. The 30-day period for review and comment can occur in parallel with the inter-departmental review of a development application by municipal staff.

The proposed new interim policy would apply to the following:

- applications for Zoning amendment, OCP amendment or Subdivision;
- affecting land of 2 acres (0.8 hectares) or greater area; and,
- intersecting with areas of “high archaeological and cultural potential” shown on Map 3 of the *District of Ucluelet Official Community Plan Bylaw No. 1236, 2020*.

The interim policy would see applications of this type proceed as follows:

- the application would be referred to the Director of Culture, Language and Heritage of the Yuułuʔiłʔatḥ Government, for review and comment;
- YG would be requested to keep details of the development proposal in confidence until the application is presented to Council on a public meeting agenda;
- comments from the Yuułuʔiłʔatḥ Government provided within 30 days of referral would be included in the initial staff report on the development proposal to Council; and,
- comments provided after 30 days would still be provided to Council but may not make it on the agenda with the initial staff report (depending on workload and timing).

The above process would allow review and comment by YG to proceed in parallel with the internal inter-departmental review of a development application. Given recent workloads, the internal review of applications (i.e., circulation for review by Planning, Fire, Engineering, Parks & Rec, Finance, etc.) has not been taking less than 30 days; the proposed policy would present no delay to the processing of a development application.

District staff have reviewed the proposed interim policy with staff at YG and they have indicated support for this approach.

Staff recommend that a fulsome discussion seeking consensus on communication and referral protocols with the Yuułuʔiłʔatḥ Government be earmarked for an upcoming joint Council meeting, community-to-community forum or other inter-agency meeting of elected officials. In the meantime, staff are recommending that the proposed interim policy be adopted by Council for immediate implementation.

ANALYSIS OF OPTIONS

A	That Council adopt the proposed Interim Policy for early referral of development applications to the Yuułuʔiłʔatḥ Government for review and comment, and earmark the topic of mutually developing communication protocols for future discussion with the Yuułuʔiłʔatḥ Government at the Council-to-Council level.	<u>Pros</u>	<ul style="list-style-type: none"> would immediately improve communication with YG and understanding of Indigenous perspectives; could identify issues which need to be addressed much earlier in the development review process – potentially saving time for the land owner / applicant; would initiate action on OCP policies aimed at reconciling municipal development approval processes with Indigenous perspectives; and, would set the stage for further discussions with YG on developing more comprehensive protocols for communication and referrals.
		<u>Cons</u>	<ul style="list-style-type: none"> provides an interim policy as a stop-gap; a more fulsome communication and referral protocol is the goal set out by the adopted Ucluelet OCP policy.
		<u>Implications</u>	<ul style="list-style-type: none"> adoption of the proposed policy would result in all qualifying future development applications being provided to YG for review and comment. This would be a minor change in the current workflow when processing such applications. No additional costs would be incurred.
B	That Council prioritize discussions toward establishing a communication and referral protocol with the Yuułuʔiłʔatḥ Government, and invite discussion at the Council-to-Council level.	<u>Pros</u>	<ul style="list-style-type: none"> would prioritize action at the Council level on OCP policies aimed at reconciling municipal development approval processes with Indigenous perspectives.
		<u>Cons</u>	<ul style="list-style-type: none"> would delay changes to municipal processes until such time as government-to-government discussions can be scheduled, and Council thereafter provides direction; In the interim, awareness of development applications would be delayed until staff reports are published on a public Council agenda or notification is published for a public hearing; and, if issues or concerns are identified later in the process, they could result in a delay of the development application while a property owner investigates and/or responds.
		<u>Implications</u>	<ul style="list-style-type: none"> until a protocol is established for early referrals and communication with YG, major development applications may come as something of a surprise. Input would be received later in the process and may delay such applications.
		<u>Suggested Motion</u>	THAT Council invite discussion with the Yuułuʔiłʔatḥ Government on developing communication and referral protocols for proposed developments and operations within the municipality.



The Corporation of the District of Ucluelet

MUNICIPAL POLICY MANUAL**POLICY NUMBER: 13-6830-01****REFERENCE:**

Referrals to Yuułuʔiłʔatḥ Government - Interim Policy

ADOPTED BY:

Council

CROSS-REFERENCE:

OCP Policies 1.8, 1.9, 3.37 & 3.41

SUPERSEDES:

None

AMENDED DATE:

N/A

DEPARTMENT:

Planning

EFFECTIVE DATE:

February 22, 2022

Policy Statement

The purpose of this policy is to clarify the process and enable communication for the early referral of major development applications to staff at the Yuułuʔiłʔatḥ Government for review and comment.

Scope

This policy applies to development applications received for:

- amendment to the Zoning Bylaw;
- amendment of the Official Community Plan (OCP) Bylaw; and/or,
- subdivision

on properties of 2 acres (0.8 hectares) or greater which intersect with areas of “high archaeological and cultural potential” on Map 3 of the District of Ucluelet Official Community Plan Bylaw No. 1236, 2020.

Justification**A. Current municipal policy adopted in the OCP:**

Policy 1.8 Endeavour to understand and consider Indigenous perspectives when making decisions on land-use issues.

Policy 1.9 Develop, in partnership with the Yuułuʔiłʔatḥ Government, a protocol for referral and input on proposed developments and/or operations which might impact Yuułuʔiłʔatḥ lands, resources and/or culture.

Policy 3.37 Develop, in partnership with the Yuułuʔiłʔatḥ Government, a protocol for referral and input on development proposals within the areas of high archaeological and cultural potential identified on Map 3.



Policy 3.41 Development proposals will be reviewed in relation to existing and possible archaeological sites, and where sites are apparent, the owner will be notified of their responsibility for complying with the requirements of the provincial Heritage Conservation Branch.

B. Past practice:

When a land owner makes a property inquiry or development application, staff refer to the provincial database of known archaeological sites and provide a copy of the “local government notification” form letter which is provided by the BC Archaeology Branch. Depending on the circumstances, that may or may not trigger the property owner to contact the Archaeology Branch. This is consistent with OCP policy 3.41. This process will continue.

Note the provincial process touches on the known, documented sites of archaeological evidence but does not necessarily address sites of cultural importance.

When a development application involves a zoning amendment bylaw or OCP amendment bylaw, part of the legislated process includes giving notice and holding a public hearing. Individuals and agencies may become aware of the development proposal and choose to provide comment as part of this process. For OCP amendment bylaws, Council also considers whether the nature of the amendment should include early and ongoing consultation with external agencies.

C. Justification for new policy:

Developing a fulsome protocol for referrals in partnership with the Yuułuʔiłʔatḥ Government, consistent with OCP policies 1.9 and 3.37, will take some time. This interim policy is intended to fill the gap until such time as a protocol is established by mutual agreement following government-to-government discussions. The policy will ensure that the Yuułuʔiłʔatḥ Government becomes aware of major development applications much earlier in the process than the notification for a public hearing. Adopting the interim policy will further the municipality’s understanding consistent with the OCP policy 1.8.

At this point in time, development activity in the community is accelerating. Adopting an interim policy will immediately enable better communication and consideration of indigenous perspectives – and remove the pressure to rush discussions on developing communication protocols with our neighbours.

This interim policy also can avoid delays in the process of development review and approval. If values, issues or concerns are identified for a particular site it is far better that they be identified early in the process rather than later at the public hearing stage. The 30-day period for review and comment can occur in parallel with the inter-departmental review of a development application by municipal staff.



Policy:
For:

- rezoning, OCP amendment or subdivision applications;
- affecting land of 2 acres (0.8 hectares) or greater area; and,
- that intersect with areas of “high archaeological and cultural potential” shown on Map 3 of the *District of Ucluelet Official Community Plan Bylaw No. 1236, 2020*;

Such applications:

- will be referred to the Director of Culture, Language and Heritage of the Yuułuʔiłʔatḥ Government, for review and comment;
- the Yuułuʔiłʔatḥ Government is requested to keep details of the development proposal in confidence until the application is presented to Council on a public meeting agenda;
- comments from the Yuułuʔiłʔatḥ Government provided within 30 days of referral will be included in the initial staff report on the development proposal to Council; and,
- comments provided after 30 days will be provided to Council but may not make it on the agenda with the initial staff report.

Mayco Noël

Mayor

Duane Lawrence

Chief Administrative Officer



INFORMATION REPORT

Council Meeting: February 22, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING

FILE NO: 1290-03 VILLAGE GREEN

SUBJECT: PROJECT UPDATE - VILLAGE GREEN 70% DETAILED DESIGN

REPORT NO: 22- 25

ATTACHMENT(S): APPENDIX A – 70% DESIGN: MATERIALS & PLANTING PLANS
APPENDIX B – PUBLIC FEEDBACK FROM ONLINE SURVEY
APPENDIX C – PAPER SURVEYS SUBMITTED PRIOR TO DEC 31ST
APPENDIX D – STAFF REPORT NOVEMBER 23, 2021

PURPOSE

This report is intended to:

- present Council with the public feedback received on the design concept for the Village Green revitalization project;
- provide an overview of adjustments that the District’s consultants have incorporated into the 70% detailed design drawings that have been developed;
- present next steps for the project; and
- review the project timeline.

BACKGROUND

At its regular meeting held November 23, 2021, Council received an update report on the Village Green revitalization project. That report provides background to the project and overviews the project goals (see **Appendix “D”**). As a condition of meeting the grant project deadline of March 31, 2023, an expedited project planning, public engagement and construction schedule was approved by Council in the Spring of 2021.

As presented in November, a feedback survey was subsequently linked to the District website and advertised, seeking public input. Materials were made available for public viewing on the District website, at the Municipal Office and in the Ucluelet Community Centre. Feedback from the online and paper surveys was collected by the design team - a summary and full content of online and hard-copy survey submissions from the community are found in **Appendices “B”** and **“C”**.

Also in December, staff reached out to neighbouring businesses and property owners. On January 14, 2022, staff held a zoom meeting with business owners to discuss the project, receive feedback, timeline, and ongoing communications during construction.

The design team have incorporated feedback from the public and internal review as they have developed the 70% detailed design drawings for the project.

As a requirement of the grant, the project was formally initiated in December with the municipal Parks staff salvaging a number of mature rhododendrons from the project site near the parking area at the municipal

office. A site project sign was mounted on the fence near the playground, containing the concept plan and project timeline.

The primary goals of the Village Green have been to expand opportunities for people to gather and enjoy the area in a safe, accessible, and inviting space. Extending the park space toward the water, improving pedestrian safety and accessibility have – from the outset – been understood to be a priority over continuing to provide parking for vehicles immediately adjacent to the waterfront.

Clear and safe pedestrian crossings at intersections and key mid-block locations are also part of the design. The focus of the design has been to prioritize the facilities used by people when they are out of their vehicles. That said, minimizing the loss of on-street parking and improving access to existing businesses have been considered throughout the design process and will continue to be kept at the forefront.

Public Feedback

The community provided 401 responses online and 34 paper submissions. Additional correspondence has subsequently been received and will be placed on Council’s agenda. Some of the major themes raised from the public input are discussed below:

Parking

The majority of public submissions expressed concern for the loss of parking in the area. This may be in part to some misinformation circulating, that the District would be removing 40 parking spaces. The design currently results in a net loss of 12 on-street parking spaces.

Removing the 5 parking spaces immediately in front of the Crow’s Nest was raised as a particular concern. Removing these existing non-conforming parking spaces is part of the design due to these spaces backing into an intersection. The nearest on-street public parking space would be approximately 12 meters from the front door of the building. Additionally, a new crosswalk would connect the expanded park directly with the sidewalk in front of the Crow’s Nest.

Staff have asked the design team to explore additional on-street parking by expanding the angled parking on Main Street in the area immediately adjacent to the municipal office and Village Green park. In the immediate vicinity, the District has also recently added 28 new parking spaces in the Cedar Road public parking lot and constructed a pedestrian path and boardwalk, providing direct access to Main Street. The design of the Cedar Road lot also allows for future expansion.

Other opportunities for expanding and improving public parking in the vicinity of the Village Green also exist but are outside the scope of the current project. These will continue to be pursued over time along with road and sidewalk improvement projects.

Accessibility

A driving focus of the design is to improve accessibility for all, throughout the Village Green area. Currently a number of barriers exist (gaps and missing sidewalks, lack of curb let-downs) which the project will fix. Clear and safe pedestrian crossings, continuous off-street pathways, accessible parking spaces and curb letdowns at all crossings and connecting points, will enable people with all levels of ability (and strollers) to circulate through the area. A number of survey respondents expressed support for improving (as some commented, “finally”) accessibility in the area.

Separate Playground Design Process

Yes! The playground space is part of the current project, but the design for the expanded playground and new equipment is a separate project-within-a-project. That portion of the project will be commencing in the coming weeks and will include specific opportunities for community engagement and input into the playground design. While the park and playground design need to be coordinated, the playground equipment and surfacing is separate from the Village Green budget and can proceed with an independent timeline.

Retain Existing Trees

Four of the five mature maple trees which are prominent along the current edge of the Village Green park space will remain. As well, next to the existing swing set are three trees– which themselves act as part of the play equipment – that are also to be kept and will be part of the new playground space.

Covered Structure for Events

A number of comments raised the addition of a gazebo or bandstand-type structure for events within the park. This comment is not surprising – many times in the past a band has been crammed onto the stairs in front of the municipal office, with no better place to set up.

A separate structure is not part of the design or budget within the current scope of the project. Staff have explored the feasibility of modifying the up/down walkway in front of the municipal office to create a larger level space; this would have the appearance of a front porch on the building and could provide a stage during events like Canada Day and during the Farmers Market, etc. When it was not in use as a stage, it would act as a covered community front porch. While this is not part of the current project, the design of the adjacent grading, planting bed and retailing seat walls anticipate this future modification of the building.

Water Fountain / Bottle Filling Station

This is already included in the project, located between the playground and the greenspace with picnic tables.

Art Components by local Indigenous Artists

Opportunities exist within the project and some options have already been discussed with staff at the Yuuʔuʔiʔath̓ Government.

In September, Council asked staff to explore options for creating an orange pedestrian crosswalk in collaboration with the Yuuʔuʔiʔath̓. Staff have discussed the location of the new crosswalk in front of the Village Green and expect a proposal on this element from a Yuuʔuʔiʔath̓ artist - which will be brought forward to Council.

Another component has been discussed, which staff will bring forward to Council in the coming weeks – this would be seeking approval to issue a call for proposals from local Indigenous artists on a specific element of public art.

Public Washrooms

Adding new washroom facilities is not within the scope of the current project. However, staff have already discussed options for additional public washroom facilities in the centre of town – on Peninsula Road and in the Village Green area – as the need is expected to grow with increased visitation. The

recent request by the Aquarium to consider relocating the existing public washrooms also brings this to the forefront.

A new public washroom building will be constructed this year in the Cedar Road parking hub.

Staff have also begun to explore the feasibility of adding public washrooms onto the municipal office building near the playground, and the design of the reconfigured parking area anticipates the future access, should such an addition be built. This or other new facilities would need to be approved by Council in future budgets and capital plans.

Make Main Street One-way

This is not part of the project. Main Street is under the jurisdiction of the Ministry of Transportation and Infrastructure, and a traffic change of this sort would need to be approved by MoTI. Additionally, changing the flow of traffic by making a one-way street has impacts on surrounding local streets and should be considered in a full traffic study of the area to determine feasibility and impacts. Changing traffic pattern can affect local businesses and residents and should be preceded by thorough public consultation.

Next Steps and Timeline

The Village Green revitalization project was approved and funded in the 2021 Budget. Funding is entirely from Resort Municipality Initiative funds, Gas Tax, and the Tourism Dependent Communities Fund (TDCF) grant. No municipal property taxes are being used to fund this project. Under the TDCF grant conditions, construction must be complete by March 31, 2023.

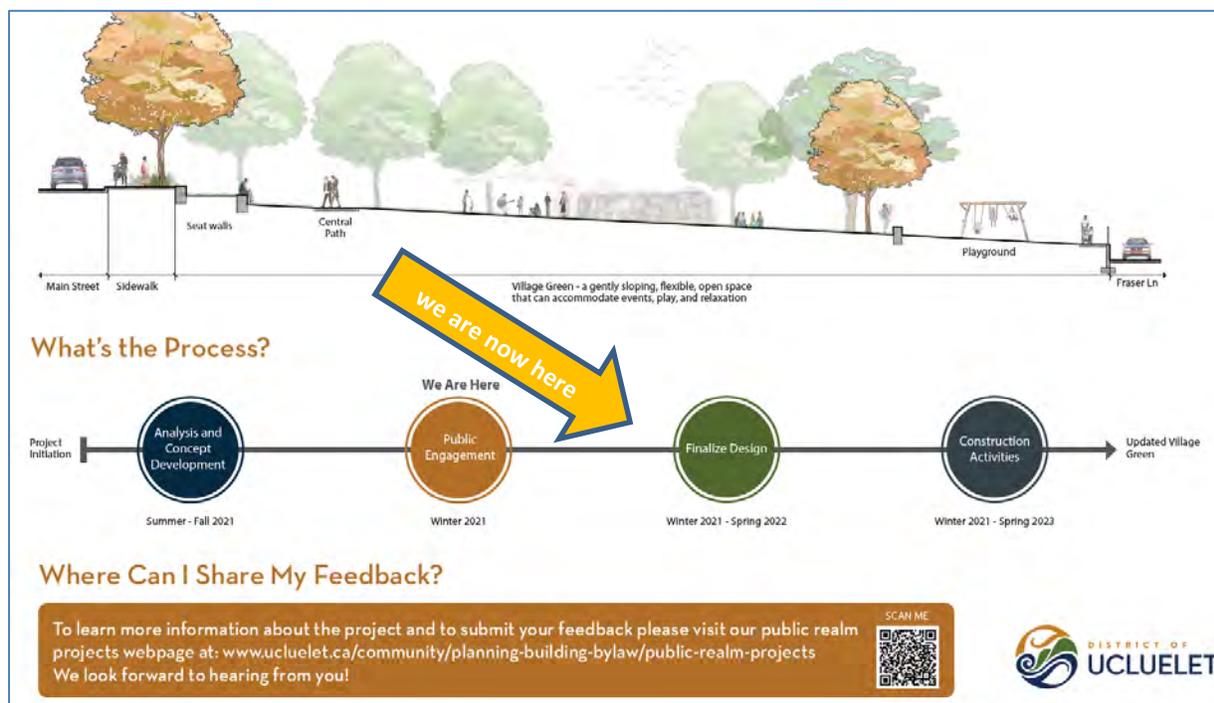


Figure 1 - excerpt from project sign board

Refinements to the design drawings and production of a complete bid package and construction specifications is scheduled to continue over the coming weeks, with the project being issued for

tender this spring. The construction schedule is earmarked for October 2022 – March 2023, with specific dates to be determined once a contractor is secured for the project. Communication with neighboring businesses will continue as the project schedule is refined.

Request for Additional Public Engagement

As noted above, this project has been moving on a condensed timeline to take advantage of available grant funding. Changing direction at this time to add additional opportunities for public engagement and input on the project design would have the following impacts:

- No longer able to meet project timeline;
- Potential loss of TDCF grant funding (\$700,000);
- This could impact competitiveness on future provincial grant applications;
- Remaining funds would only cover 36% of construction costs;
- There is currently no budget for further public engagement on this project; and,
- The project would be on hold until an alternative funding strategy were approved – presumably in the 2023 budget or later.

Respectfully submitted:

BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING
DUANE LAWRENCE, CAO



PROJECT DESCRIPTION

1. THE PROJECT CONSISTS OF IMPROVEMENTS TO THE THE UCLUELET VILLAGE GREEN AND SURROUNDING STREETScape. THE WORK INCLUDES, BUT IS NOT LIMITED TO, A GENTLY SLOPING LAWN WITH CONCRETE SEAT WALLS AND WOOD BENCHES, PEDESTRIAN PATHWAYS/SIDEWALKS, CONCRETE STEPS W/ HANDRAILS, A MODULAR BLOCK RETAINING WALL WITH FENCING, PLANTING AREAS, A PUBLIC SEATING AREA WITH CONCRETE UNIT PAVING AND PLANTING BUFFERS, AND WATER AND ELECTRICAL SERVICES.

DRAWING INDEX

Dwg#	Sht#	Drawing Title
1	T1.0	Cover Sheet
2	D1.0	Demolition Plan - North
3	D1.1	Demolition Plan - South
4	CO1	Key Plan, Drawing List, & General Notes
5	CO2	Site Servicing and Service Works
6	CO3	Site Servicing and Service Works
7	CO4	Details & Typical Cross Sections
8	E1	Site Plan Electrical Layout
9	L1.0	Site Materials Plan - North
10	L1.1	Site Materials Plan - South
11	L1.2	Site Materials Plan - Enlargement
12	L2.0	Grading Plan - North
13	L2.1	Grading Plan - South
14	L3.0	Landscape sections
15	L3.1	Landscape Details
16	L3.2	Landscape Details
17	L3.3	Landscape Details
18	L4.0	Irrigation Plan - North
19	L4.1	Irrigation Plan - South
20	L5.0	Irrigation Details
21	L6.0	Planting Plan - North
22	L6.1	Planting Plan - South
23	L7.0	Planting Details

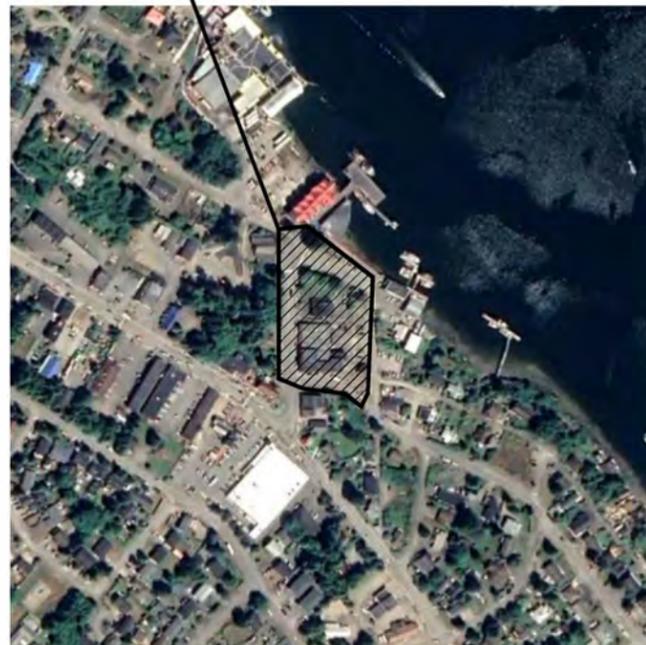
ABBREVIATIONS

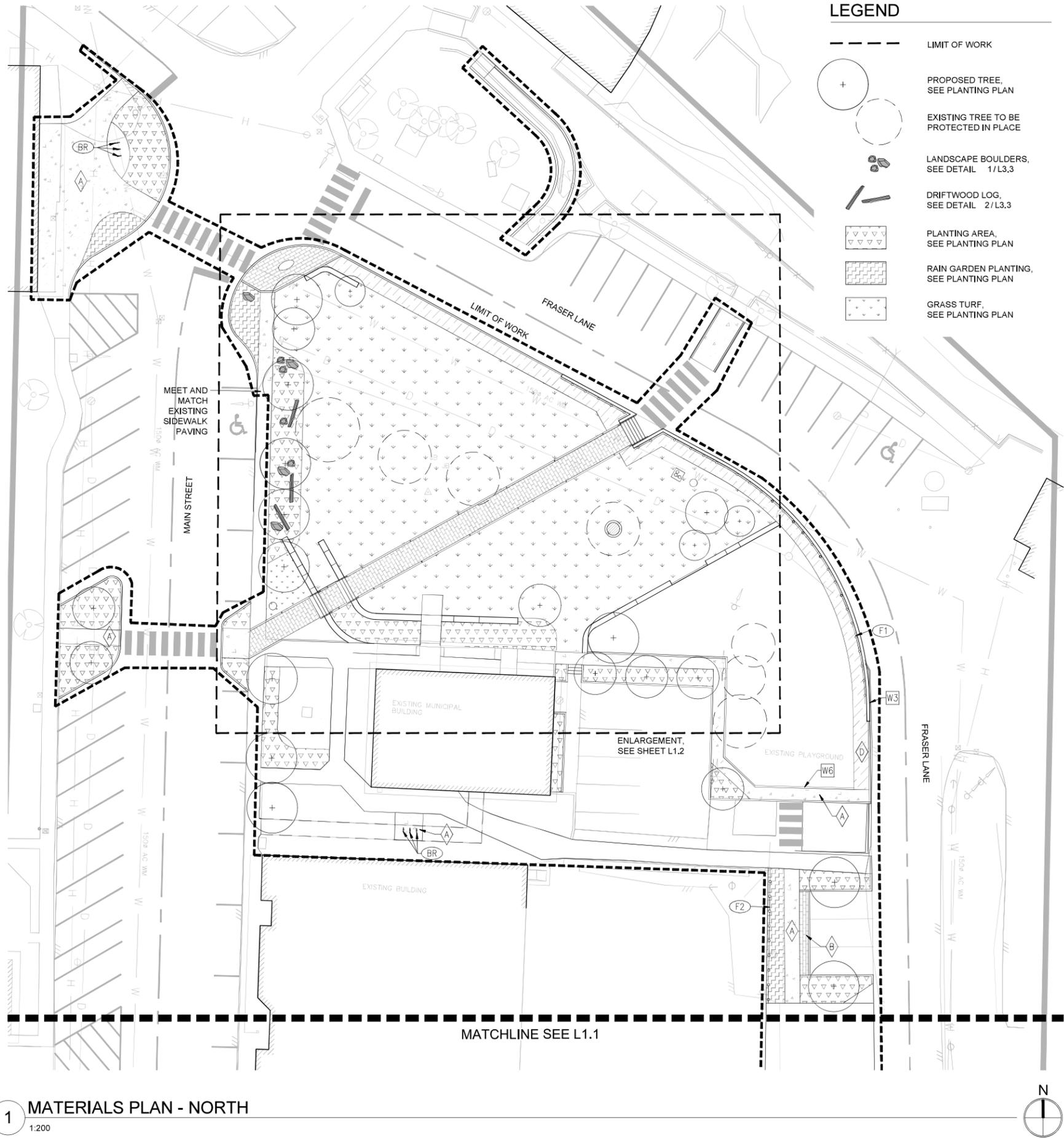
APPROX	APPROXIMATE	EQ	EQUAL	R	RADIUS
BC	BOTTOM OF CURB	EXIST	EXISTING	REF	REFERENCE
BG	BASE GRADE	FG	FINISHED GRADE	SPECS	SPECIFICATIONS
BW	BOTTOM OF WALL	FS	FINISHED SURFACE	SS	STAINLESS STEEL
CB	CATCH BASIN	HT	HEIGHT	STL	STEEL
CIP	CAST IN PLACE	LA	LANDSCAPE ARCHITECT	TC	TOP OF CURB
CL	CENTER LINE	LP	LOW POINT	THK	THICK
CONT	CONTOURS	MAX	MAXIMUM	TW	TOP OF WALL
CONC	CONCRETE	MIN	MINIMUM	TYP	TYPICAL
CRZ	CRITICAL ROOT ZONE	MH	MANHOLE		
C/W	COMPLETE WITH	NIC	NOT IN CONTRACT		
DET	DETAIL	NTS	NOT TO SCALE		
DIA	DIAMETER	O.C.	ON CENTRE		
DIM	DIMENSION	O.D.	OUTSIDE DIAMETER		
DWG	DRAWING	PA	PLANTING AREA		
EL	ELEVATION	PL	PROPERLY LINE		

GENERAL NOTES

1. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.
2. ALL EXISTING UTILITIES TO BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
3. BASE INFORMATION INCLUDED IS FOR REFERENCE ONLY. ALL EXISTING FEATURES ARE TO BE VERIFIED PRIOR TO CONSTRUCTION.
4. DESIGNS, PLANS AND RECOMMENDATIONS ARE PROVIDED FOR THE SPECIFIC PURPOSE INDICATED HEREIN AND MAY NEED TO BE MODIFIED DEPENDING ON ACTUAL FIELD CONDITIONS THAT MAY BE DISCOVERED DURING CONSTRUCTION. LANARC EXPRESSLY DENIES ANY RESPONSIBILITY FOR CONSTRUCTED WORKS THAT ARE SUBJECT TO SITE CONDITIONS THAT AFFECT THE INTEGRITY OF THE DESIGN.
5. THIS DRAWING AND DESIGN IS THE PROPERTY OF LANARC 2015 CONSULTANTS LTD. (LANARC) AND SHALL NOT BE USED, REUSED OR REPRODUCED WITHOUT THE CONSENT OF LANARC. LANARC WILL NOT BE HELD RESPONSIBLE FOR THE IMPROPER OR UNAUTHORIZED USE OF THIS DRAWING AND DESIGN, OR ANY CHANGES MADE TO THE DRAWING BY ANY THIRD PARTY, INCLUDING CONTRACTORS, SUPPLIERS, CONSULTANTS, AND STAKEHOLDERS, OR THEIR EMPLOYEES OR AGENTS, WITHOUT LANARC'S PRIOR WRITTEN CONSENT.
6. LANARC HAS PREPARED THESE DRAWINGS IN A MANNER CONSISTENT WITH THAT LEVEL OF CARE AND SKILL ORDINARILY EXERCISED BY MEMBERS OF THE LANDSCAPE ARCHITECTURE PROFESSION CURRENTLY PRACTICING UNDER SIMILAR CONDITIONS IN THE JURISDICTION IN WHICH THE SERVICES ARE PROVIDED, SUBJECT TO THE TIME LIMITS AND PHYSICAL CONSTRAINTS APPLICABLE TO THE PROJECT.

UCLUELET VILLAGE GREEN
UCLUELET, BC





LEGEND

- LIMIT OF WORK
- PROPOSED TREE, SEE PLANTING PLAN
- EXISTING TREE TO BE PROTECTED IN PLACE
- LANDSCAPE BOULDERS, SEE DETAIL 1/L3.3
- DRIFTWOOD LOG, SEE DETAIL 2/L3.3
- PLANTING AREA, SEE PLANTING PLAN
- RAIN GARDEN PLANTING, SEE PLANTING PLAN
- GRASS TURF, SEE PLANTING PLAN

PAVING/SURFACING SCHEDULE

SYMBOL	TYPE	FINISH/COLOUR/NOTES	DETAIL
	CIP CONCRETE SIDEWALK	BROOM FINISH	4/L3.2
	CONCRETE UNIT PAVERS	ABBOTSFORD CLASSIC STANDARD CONCRETE PAVERS	5/L3.2 6/L3.2
	CIP CONCRETE STAIRS		3/L3.1
	ASPHALT WALKWAY		1/L3.2 2/L3.2 3/L3.2

SITE FURNISHINGS SCHEDULE

SYMBOL	ITEM	DESCRIPTION/NOTES	DETAIL
	CUSTOM WOOD TOP BENCH	B1: 1500mm LENGTH B2: 2500mm LENGTH	5/L3.1
	BOTTLE FILLING STATION	MURDOCK WASH-N-GO BOTTLE FILLING STATION; SATIN STAINLESS FINISH	4/L3.3
	BIKE RACK	INVERTED U STEEL BIKE RACK; BLACK POWDER COAT FINISH	5/L3.3
	FENCE TYPE 1	CUSTOM CEDAR FENCE. DESIGN TBD	
	FENCE TYPE 2	CEDAR SPLIT RAIL FENCE	7/L3.3
	HAND RAIL	HOT DIP GALVANIZED STEEL, POWDER COATED BLACK	4/L3.1
	WASTE RECEPTACLE	VICTOR STANLEY SD-35 WASTE RECEPTACLE, BLACK POWDER COAT FINISH	3/L3.3

SITE CURB/WALL SCHEDULE

SYMBOL	TYPE	DESCRIPTION/NOTES	DETAIL
	CIP CONCRETE SEAT WALL	W1: 615mm WIDTH W2: 450mm WIDTH	1/L3.1
	ALLAN BLOCK WALL	'AB METROPOLITAN' ALLAN BLOCK, SILVERADO COLOUR	2/L3.1
	CIP CONCRETE PAVER EDGING	BROOM FINISH	7/L3.2
	CIP CONC. PLAY AREA CURB AT LAWN	BROOM FINISH	8/L3.2
	CIP CONC. PLAY AREA CURB AT SIDEWALK	BROOM FINISH	9/L3.2

GENERAL NOTES

- PRIMARY REFERENCE: MMCD PLATINUM EDITION.
- ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.
- INFORM THE PROJECT LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN DETAILS AND IN-FIELD MEASUREMENTS. COMPLETION OF UNAUTHORIZED CHANGES MAY BE SUBJECT TO REJECTION.
- REFER TO ENGINEERING DRAWINGS FOR U/G SERVICES LOCATIONS AND INFORMATION PRIOR TO LANDSCAPE IMPROVEMENTS. ALL EXISTING UTILITIES TO BE IDENTIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- REFER TO CIVIL FOR ALL SITE GRADING, CIVIL WORKS AND DETAILS. REFER TO ELECTRICAL FOR ALL ELECTRICAL WORKS.
- CONTRACTOR TO TEST AND CONFIRM NEW PLANTING AREAS HAVE POSITIVE AND FREE DRAINAGE. IF DRAINAGE PROBLEMS EXIST, ADDITIONAL MEASURES WILL BE REQUIRED PRIOR TO GROWING MEDIUM PLACEMENT AND PLANTING.
- CONTRACTOR TO MAKE GOOD ALL CONSTRUCTION RELATED DAMAGE OUTSIDE THE LIMIT OF WORK.
- START OF MAINTENANCE AND GUARANTEE PERIOD: SHALL BE FROM THE TIME OF INSTALLATION UNTIL ONE (1) YEAR FROM THE DATE OF NOTICE OF ACCEPTANCE (SUBSTANTIAL PERFORMANCE) ISSUED BY THE LANDSCAPE ARCHITECT.
- END OF MAINTENANCE PERIOD: NOTIFY THE LANDSCAPE ARCHITECT 30 DAYS IN ADVANCE OF THE END OF THE MAINTENANCE PERIOD TO SCHEDULE FINAL INSPECTION REVIEW. ONCE ALL DEFICIENCIES ARE RESOLVED AND THE NOTICE OF FINAL ACCEPTANCE (FINAL PERFORMANCE) HAS BEEN ISSUED BY THE LANDSCAPE ARCHITECT, MAINTENANCE RESPONSIBILITIES WILL BE ASSUMED BY THE OWNER.

LANARC

NANAIMO
405 - 256 Wallace Street, Nanaimo, BC V9R 5B3
Tel (778) 762-4800
VANCOUVER
2520 W 33rd Avenue, BC V6N 2G5
www.lanarcconsultants.ca

70% Design Issued PV By BL Appd. 22.02.07 YY.JMM.DD

Permit-Seal
UCLUELET VILLAGE GREEN REVITALIZATION

Project
MATERIALS PLAN - NORTH

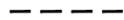
Title

21-317
Project No. Scale

L1.0
Drawing No. Permit No. Revision

1 MATERIALS PLAN - NORTH
1:200

LEGEND

-  LIMIT OF WORK
-  PROPOSED TREE, SEE PLANTING PLAN
-  EXISTING TREE TO BE PROTECTED IN PLACE
-  LANDSCAPE BOULDERS, SEE DETAIL 1/L3.3
-  DRIFTWOOD LOG, SEE DETAIL 2/L3.3
-  PLANTING AREA, SEE PLANTING PLAN
-  RAIN GARDEN PLANTING, SEE PLANTING PLAN
-  GRASS TURF, SEE PLANTING PLAN

PAVING/SURFACING SCHEDULE

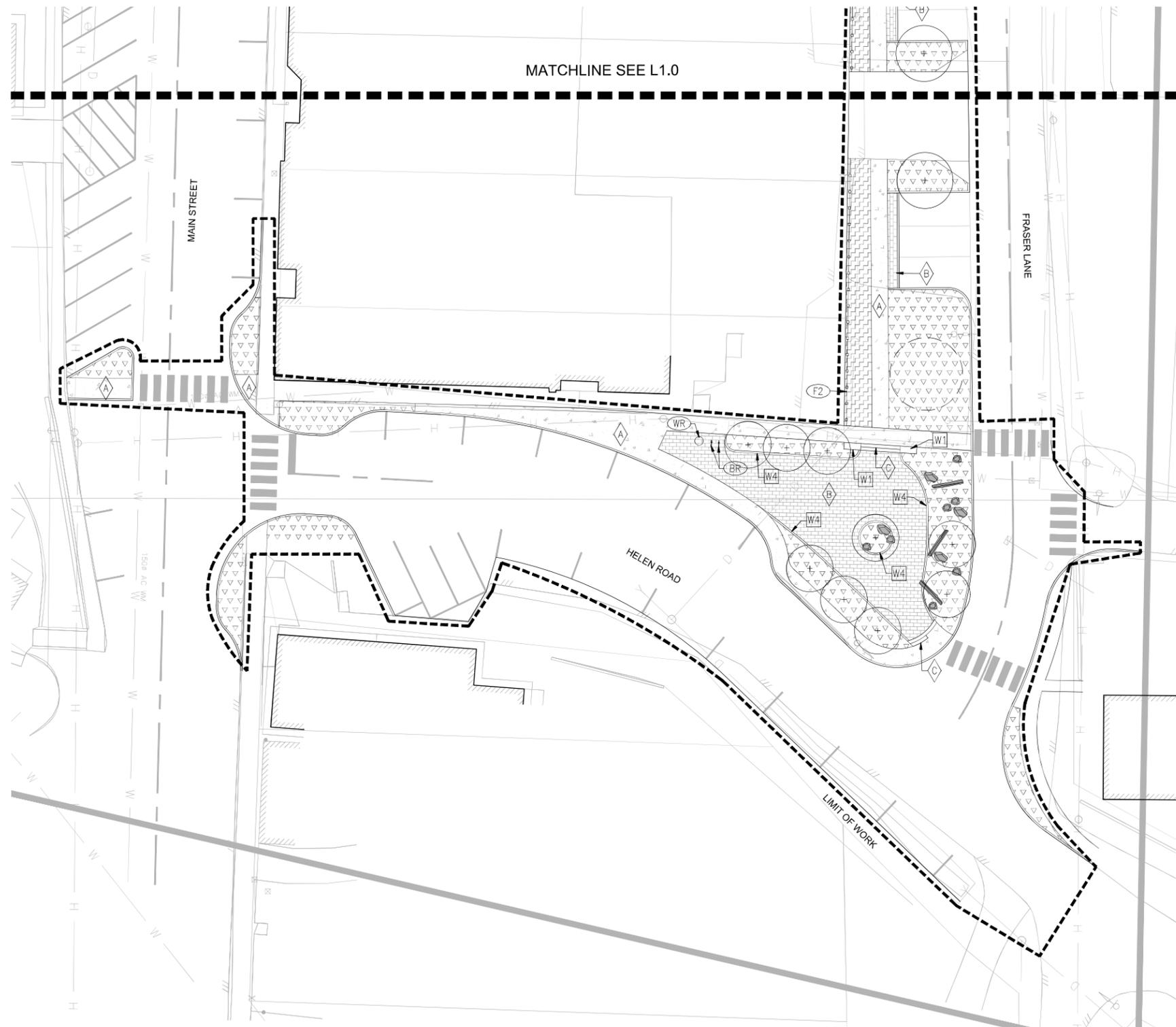
SYMBOL	TYPE	FINISH/COLOUR/NOTES	DETAIL
	CIP CONCRETE SIDEWALK	BROOM FINISH	4/L3.2
	CONCRETE UNIT PAVERS	ABBOTSFORD CLASSIC STANDARD CONCRETE PAVERS	5/L3.2 6/L3.2
	CIP CONCRETE STAIRS		3/L3.1
	ASPHALT WALKWAY		1/L3.2 2/L3.2 3/L3.2

SITE FURNISHINGS SCHEDULE

SYMBOL	ITEM	DESCRIPTION/NOTES	DETAIL
	CUSTOM WOOD TOP BENCH	B1: 1500mm LENGTH B2: 2500mm LENGTH	5/L3.1
	BOTTLE FILLING STATION	MURDOCK WASH-N-GO BOTTLE FILLING STATION; SATIN STAINLESS FINISH	4/L3.3
	BIKE RACK	INVERTED U STEEL BIKE RACK; BLACK POWDER COAT FINISH	5/L3.3
	FENCE TYPE 1	CUSTOM CEDAR FENCE. DESIGN TBD	
	FENCE TYPE 2	CEDAR SPLIT RAIL FENCE	7/L3.3
	HAND RAIL	HOT DIP GALVANIZED STEEL, POWDER COATED BLACK	4/L3.1
	WASTE RECEPTACLE	VICTOR STANLEY SD-35 WASTE RECEPTACLE, BLACK POWDER COAT FINISH	3/L3.3

SITE CURB/WALL SCHEDULE

SYMBOL	TYPE	DESCRIPTION/NOTES	DETAIL
	CIP CONCRETE SEAT WALL	W1: 615mm WIDTH W2: 450mm WIDTH	1/L3.1
	ALLAN BLOCK WALL	'AB METROPOLITAN' ALLAN BLOCK, SILVERADO COLOUR	2/L3.1
	CIP CONCRETE PAVER EDGING	BROOM FINISH	7/L3.2
	CIP CONC. PLAY AREA CURB AT LAWN	BROOM FINISH	8/L3.2
	CIP CONC. PLAY AREA CURB AT SIDEWALK	BROOM FINISH	9/L3.2



1 MATERIALS PLAN - SOUTH
1:200



NOTES

- SEE SHEET L1.0 FOR GENERAL NOTES

LANARC

NANAIMO
405 - 256 Wallace Street, Nanaimo, BC V9R 5B3
Tel (778) 762-4800
VANCOUVER
2520 W 33rd Avenue, BC V6N 2G5
www.lanarcconsultants.ca

70% Design Issued PV By BL Appd. 22.02.07 YY.MM.DD

Permit-Seal
UCLUELET VILLAGE GREEN REVITALIZATION

Project
MATERIALS PLAN - SOUTH

Title
21-317 Project No. 0 1:200 10 Scale
L1.1 Drawing No. Permit No. Revision
x of x

NOTES

1. SEE SHEET L1.0 FOR GENERAL NOTES

LEGEND

-  LIMIT OF WORK
-  PROPOSED TREE, SEE PLANTING PLAN
-  EXISTING TREE TO BE PROTECTED IN PLACE
-  LANDSCAPE BOULDERS, SEE DETAIL 1/L3.3
-  DRIFTWOOD LOG, SEE DETAIL 2/L3.3
-  PLANTING AREA, SEE PLANTING PLAN
-  RAIN GARDEN PLANTING, SEE PLANTING PLAN
-  GRASS TURF, SEE PLANTING PLAN

PAVING/SURFACING SCHEDULE

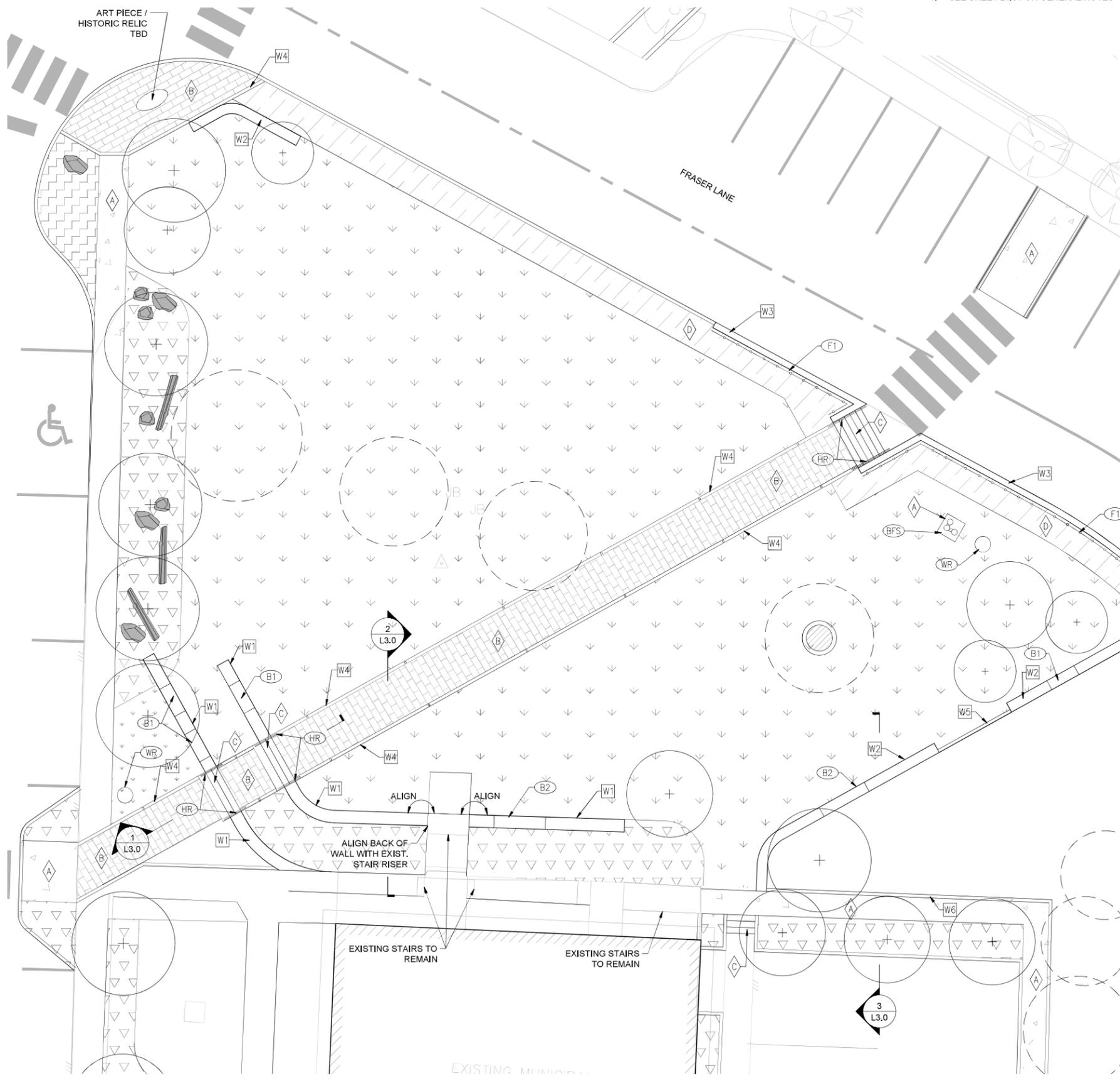
SYMBOL	TYPE	FINISH/COLOUR/NOTES	DETAIL
	CIP CONCRETE SIDEWALK	BROOM FINISH	4/L3.2
	CONCRETE UNIT PAVERS	ABBOTSFORD CLASSIC STANDARD CONCRETE PAVERS	5/L3.2 6/L3.2
	CIP CONCRETE STAIRS		3/L3.1
	ASPHALT WALKWAY		1/L3.2 2/L3.2 3/L3.2

SITE FURNISHINGS SCHEDULE

SYMBOL	ITEM	DESCRIPTION/NOTES	DETAIL
	CUSTOM WOOD TOP BENCH	B1: 1500mm LENGTH B2: 2500mm LENGTH	5/L3.1
	BOTTLE FILLING STATION	MURDOCK WASH-N-GO BOTTLE FILLING STATION; SATIN STAINLESS FINISH	4/L3.3
	BIKE RACK	INVERTED U STEEL BIKE RACK; BLACK POWDER COAT FINISH	5/L3.3
	FENCE TYPE 1	CUSTOM CEDAR FENCE. DESIGN TBD	
	FENCE TYPE 2	CEDAR SPLIT RAIL FENCE	7/L3.3
	HAND RAIL	HOT DIP GALVANIZED STEEL, POWDER COATED BLACK	4/L3.1
	WASTE RECEPTACLE	VICTOR STANLEY SD-35 WASTE RECEPTACLE, BLACK POWDER COAT FINISH	3/L3.3

SITE CURB/WALL SCHEDULE

SYMBOL	TYPE	DESCRIPTION/NOTES	DETAIL
	CIP CONCRETE SEAT WALL	W1: 615mm WIDTH W2: 450mm WIDTH	1/L3.1
	ALLAN BLOCK WALL	'AB METROPOLITAN' ALLAN BLOCK, SILVERADO COLOUR	2/L3.1
	CIP CONCRETE PAVER EDGING	BROOM FINISH	7/L3.2
	CIP CONC. PLAY AREA CURB AT LAWN	BROOM FINISH	8/L3.2
	CIP CONC. PLAY AREA CURB AT SIDEWALK	BROOM FINISH	9/L3.2



1 MATERIALS PLAN - ENLARGEMENT
1:100

LANARC

NANAIMO
405 - 256 Wallace Street, Nanaimo, BC V9R 5B3
Tel (778) 762-4800
VANCOUVER
2520 W 33rd Avenue, BC V6N 2G5
www.lanarcconsultants.ca

70% Design Issued PV By BL Appd. 22.02.07 YY.MM.DD

Permit-Seal
UCLUELET VILLAGE GREEN REVITALIZATION

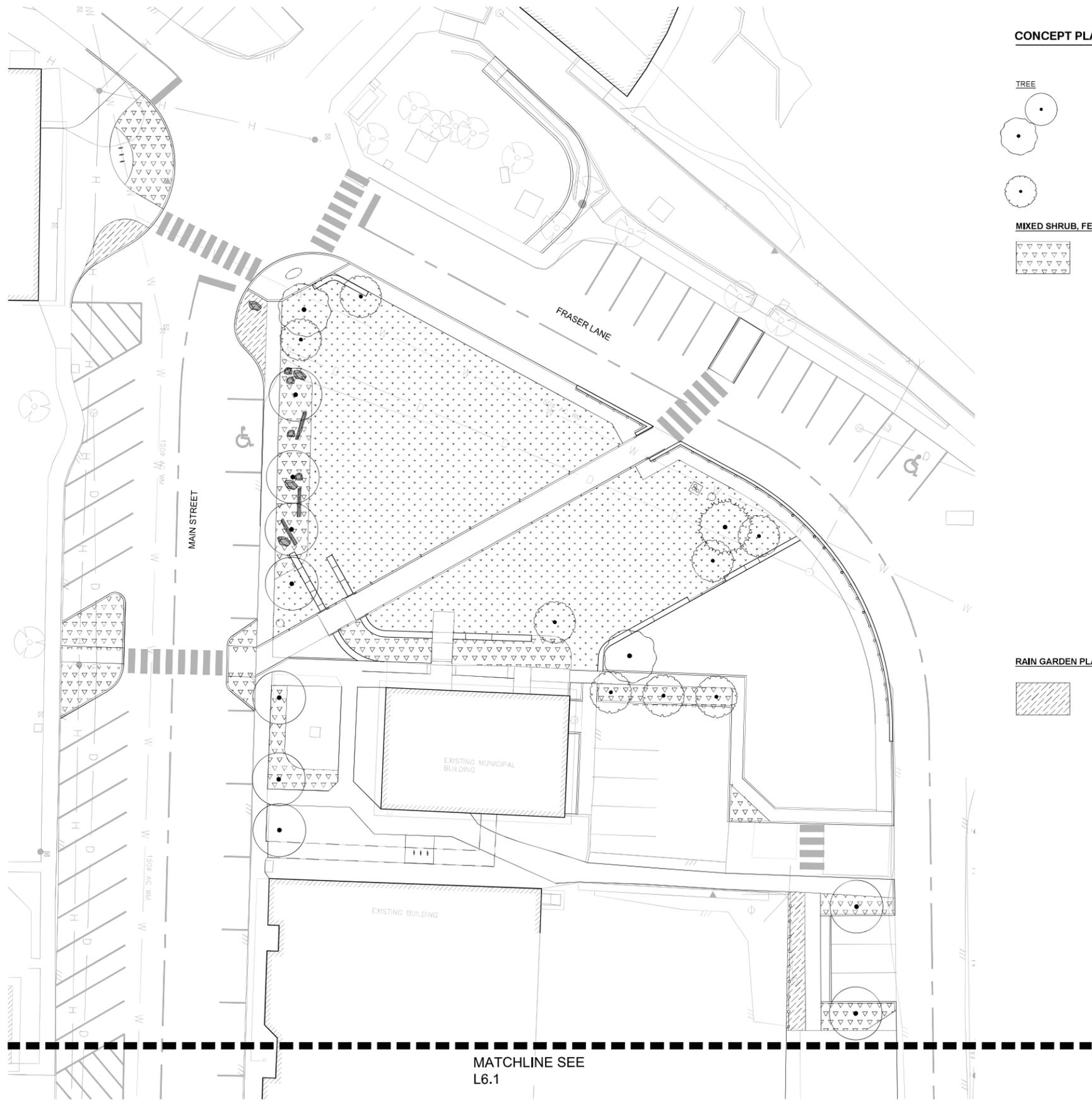
Project
MATERIALS PLAN - ENLARGEMENT

Title

21-317
Project No. Scale

L1.2
Drawing No. Permit No. Revision

x of x



MATCHLINE SEE L6.1

1 PLANTING PLAN - NORTH
1:200



CONCEPT PLANT SCHEDULE

TREE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	Acer x freemanii 'Jeffersred'	Freeman Maple	60mm Cal.	B&B
	Fraxinus oxycarpa 'Raywood'	Raywood Ash	60mm Cal.	B&B
	Metasequoia glyptostroboides	Dawn Redwood	3m Ht.	B&B
	Stewartia pseudocamellia	Japanese Stewartia	60mm Cal.	B&B

MIXED SHRUB, FERN, AND GROUNDCOVER PLANTING

	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	Athyrium filix-femina	Lady Fern	1 gal.	Pot	0,80m
	Cornus sericea 'Kelseyi'	Kelseyi Dogwood	1 gal.	Pot	0,80m
	Cornus canadensis	Bunchberry	1 gal.	Pot	0,30m
	Fragaria chiloensis	Coastal Strawberry	1 gal.	Pot	0,30m
	Helictotrichon sempervirens	Blue Oat Grass	1 gal.	Pot	0,60m
	Mahonia nervosa	Dull Oregon Grape	1 gal.	Pot	0,50m
	Miscanthus sinensis 'Yaku Jima'	Dwarf Maiden Grass	1 gal.	Pot	0,80m
	Nepeta faassenii 'Walkers Low'	Catmint	1 gal.	Pot	0,60m
	Picea abies 'Nidiformis'	Bird Nest Spruce	2 gal.	Pot	0,80m
	Polystichum munitum	Sword Fern	1 gal.	Pot	0,60m
	Rosa nutkana	Nootka Rose	2 gal.	Pot	1,25m
	Rhododendron var.	Prince George Fraser Hybrids	2 gal.	Pot	1,25m
	Stipa tenuissima	Mexican Feather Grass	1 gal.	Pot	0,60m
	Vaccinium ovatum	Evergreen Huckleberry	2 gal.	Pot	1,0m

RAIN GARDEN PLANTING

	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	Cornus sericea 'Kelseyi'	Kelseyi Dogwood	1 gal.	Pot	0,80m
	Carex obnupta	Slough Sedge	1 gal.	Pot	0,60m
	Scirpus	Hard-stemmed Bulrush	1 gal.	Pot	0,60m
	Scirpus microcarpus	Small-flowered Bulrush	1 gal.	Pot	0,60m

LANARC

NANAIMO
405 - 256 Wallace Street, Nanaimo, BC V9R 5B3
Tel (778) 762-4800
VANCOUVER
2520 W 33rd Avenue, BC V6N 2G5
www.lanarcconsultants.ca

70% Design Issued
P.V. By
B.L. Appd.
22.02.07
YY.JMM.DD

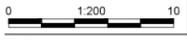
Permit-Seal
UCLUELET VILLAGE GREEN REVITALIZATION

Project
PLANTING PLAN - NORTH

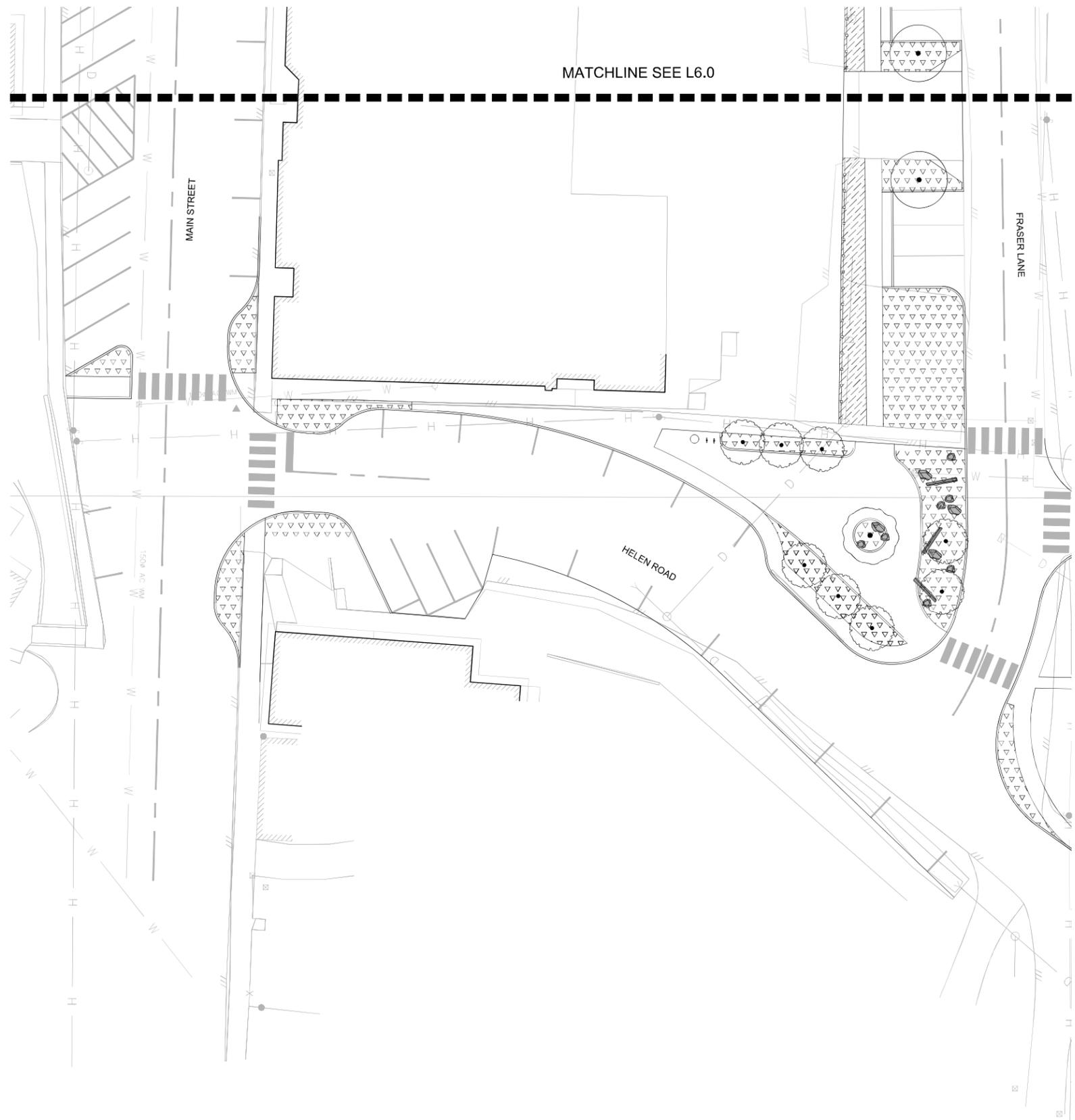
Title

21-317
Project No. Scale

L6.0
Drawing No. Permit No. Revision



x of x



CONCEPT PLANT SCHEDULE

TREE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	<i>Acer x freemanii</i> 'Jeffersred'	Freeman Maple	60mm Cal.	B&B
	<i>Fraxinus oxycarpa</i> 'Raywood'	Raywood Ash	60mm Cal.	B&B
	<i>Metasequoia glyptostroboides</i>	Dawn Redwood	3m Ht.	B&B
	<i>Stewartia pseudocamellia</i>	Japanese Stewartia	60mm Cal.	B&B

MIXED SHRUB, FERN, AND GROUNDCOVER PLANTING

	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	<i>Athyrium filix-femina</i>	Lady Fern	1 gal.	Pot	0,80m
	<i>Cornus sericea</i> 'Kelseyi'	Kelseyi Dogwood	1 gal.	Pot	0,80m
	<i>Cornus canadensis</i>	Bunchberry	1 gal.	Pot	0,30m
	<i>Fragaria chiloensis</i>	Coastal Strawberry	1 gal.	Pot	0,30m
	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	1 gal.	Pot	0,60m
	<i>Mahonia nervosa</i>	Dull Oregon Grape	1 gal.	Pot	0,50m
	<i>Miscanthus sinensis</i> 'Yaku Jima'	Dwarf Maiden Grass	1 gal.	Pot	0,80m
	<i>Nepeta faassenii</i> 'Walkers Low'	Catmint	1 gal.	Pot	0,60m
	<i>Picea abies</i> 'Nidiformis'	Bird Nest Spruce	2 gal.	Pot	0,80m
	<i>Polystichum munitum</i>	Sword Fern	1 gal.	Pot	0,60m
	<i>Rosa nutkana</i>	Nootka Rose	2 gal.	Pot	1,25m
	<i>Rhododendron</i> var.	Prince George Fraser Hybrids	2 gal.	Pot	1,25m
	<i>Stipa tenuissima</i>	Mexican Feather Grass	1 gal.	Pot	0,60m
	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	2 gal.	Pot	1,0m

RAIN GARDEN PLANTING

	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	<i>Cornus sericea</i> 'Kelseyi'	Kelseyi Dogwood	1 gal.	Pot	0,80m
	<i>Carex obnupta</i>	Slough Sedge	1 gal.	Pot	0,60m
	<i>Scirpus</i>	Hard-stemmed Bulrush	1 gal.	Pot	0,60m
	<i>Scirpus microcarpus</i>	Small-flowered Bulrush	1 gal.	Pot	0,60m



1 PLANTING PLAN - SOUTH
1:200

LANARC

NANAIMO
405 - 256 Wallace Street, Nanaimo, BC V9R 5B3
Tel (778) 762-4800
VANCOUVER
2520 W 33rd Avenue, BC V6N 2G5
www.lanarcconsultants.ca

70% Design Issued
P.V. By
B.L. Appd.
22.02.07
YY.MM.DD

Permit-Seal
UCLUELET VILLAGE GREEN REVITALIZATION

Project
PLANTING PLAN - SOUTH

Title

21-317
Project No. Scale

L6.1
Drawing No. Permit No. Revision

x of x



VILLAGE GREEN REVITALIZATION

PUBLIC ENGAGEMENT SUMMARY

JANUARY 2022

What We Heard ...



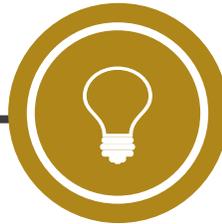
401

Online Survey
Participants



286

Comments and
Concerns



206

Suggestions



TOP 5 RESPONSES:

- » **278** Respondents expressed concern regarding the loss of parking
- » **53** Respondents expressed support for expanding the playground (through a collaborative process that engages and consults with local families)
- » **24** Respondents expressed a desire to retain the existing trees and Rhododendrons
- » **20** Respondents expressed interest in a covered structure for live music and other events
- » **13** Respondents expressed interest in a public washroom

PARTICIPANTS EXPRESSED SUPPORT FOR:

- » Expanding and improving the playground area
- » Improving pedestrian accessibility throughout the site including new street crossings and wider sidewalks
- » Expanding the functionality of the existing green space
- » New native planting and keeping the existing trees and Rhododendrons

PARTICIPANTS IDENTIFIED CONCERNS ABOUT:

- » Reduction in parking spots for local access to daily needs. In particular, the parking spots in front of the Crows Nest
- » Accessibility
- » Seasonal use of the site
- » Local businesses negatively affected from lack of parking access
- » Losing the historical character
- » Lack of consultation with the local business community and First Nations
- » Moving the cenotaph from the current location

PARTICIPANTS SUGGESTIONS:

- » A covered structure for events and seating
- » Creating a separate playground design process that engages local parents and children
- » A public washroom and water bottle filling station near the playground
- » Signage directions for local businesses, parking areas, and cultural history
- » Art component designed by local First Nations artist
- » Changing Main Street to a one way with angle parking on both sides

Raw Data From Online Survey

November 23, 2021 - December 31, 2021

Village Green Revitalization

1/4/2022 1:59:30 PM

1) How did you hear about this engagement opportunity?

Respondents: 401

Choice	Percentage	Count	
Sign posted on the village green	1.50%	6	
Social media	49.38%	198	
Poster (on community bulletin, in Co-op, etc.)	6.48%	26	
UkeeMail announcement	11.22%	45	
District website	6.23%	25	
Word of mouth	34.41%	138	
Other (please specify)	7.98%	32	
Total	100%	401	

#	Respondent	Other (please specify)
1	164	Email
2	198	you sent me an email
3	258	district email of council minutes
4	340	I got alarmed by the fact that someone is extremely misguided in thinking that it's a good idea to remove 20 parking spots
5	527	E-MAIL FROM A FRIEND
6	534	E-MAIL FROM A FRIEND
7	584	Mailed pamphlet
8	585	From the Crow's Nest
9	586	Flyer in P.O. Box
10	588	Crows Nest
11	593	Leaflet in Crow's Nest
12	635	The Westerly

13	637	Poster on Frankie's door about loss of parking
14	657	email from Bruce
15	664	Mail box letter
16	669	Westerly News article
17	675	Flyer in mailbox
18	709	A petition from the crows nest
19	720	Westerly News
20	736	Flyer in my box Dec. 29th
21	743	Westerly News
22	758	Petition
23	769	Post box
24	778	At the co op
25	799	Partner
26	802	at the crows nest
27	828	Crows Nest Owner
28	829	Flyer in Post Box
29	840	Open house
30	870	Mail out
31	901	Delayed on advertising
32	905	Heard from a friend and angry citizens

2) Where do you live?

Respondents: 401

Choice	Percentage	Count
District of Ucluelet	81.80%	328
In another part of Alberni-Clayoquot Regional District	7.98%	32
Other (please specify)	10.72%	43
Total	100%	401

#	Respondent	Other (please specify)
1	46	Part time in Ukee
2	70	Recently moved after over 30 years in Ucluelet
3	170	California
4	174	Victoria
5	175	Victoria
6	216	Inhabiting a temporary suite in friend's house in Duncan, awaiting suite in a certain Ucluelet apartmen building.
7	219	Okanagan
8	377	Nanoose Bay / Ucluelet
9	459	Vancouver, BC
10	467	Victoria bc
11	478	Victoria bc
12	479	Victoria B.C.
13	487	Vancouver
14	504	Vancouver
15	527	VANCOUVER, BC
16	534	VANCOUVER, BC
17	542	lake cowichan
18	544	Victoria
19	547	Victoria
20	554	Vancouver

21	573	Victoria, BC
22	582	Murray Harbour PEI
23	585	2430 Pacific rim highway
24	633	Vancouver
25	639	Surrey
26	662	Vancouver
27	669	North Vancouver
28	684	Hitacu
29	689	Hitacu community is where I live
30	739	Coquitlam,BC
31	745	Vancouver
32	758	Vancouver
33	767	Other
34	768	Vancouver
35	771	Tofino
36	791	Ottawa
37	814	Victoria
38	826	Langley
39	827	Lower mainland
40	831	Cowichan Valley
41	895	Former resident
42	905	Ahousat ,bc

3) What statement(s) describes your relationship to the village green in downtown Ucluelet?

Respondents: 399

Choice	Percentage	Count	
I live on a street adjacent to the village green	4.51%	18	
I own or operate a business on a street adjacent to the village green	9.02%	36	
I frequently spend time in downtown Ucluelet	58.40%	233	
I occasionally visit downtown Ucluelet	29.82%	119	
Other (please specify)	7.77%	31	
Total	100%	399	

#	Respondent	Other (please specify)
1	22	I work there
2	69	I work near green and live in ucluelet
3	77	Ukee resident
4	170	We own at The Ridge
5	214	I frequent the businesses on Main Street
6	285	I work in a business on main street
7	313	Live on Helen Rd.
8	377	I have a design eye and could help your department. Seaside multiuse for Ucluelet is exciting.
9	383	I work at a business in the downtown area
10	479	Tourist
11	501	I frequent the businesses in that area
12	561	I work downtown
13	585	I work downtown over 300 Days per year. I see that the parking Downtown is ALREADY A SHIT SHOW!!! Have you even consulted the locals?
14	600	I'm a resident
15	674	I am a long time citizen of Ucluelet that drives and walks down town when I can and I shop locally at the stores.
16	691	I'm a tax payer
17	709	I work at the coop

18	714	I use the bank and shop
19	720	formerly lived in Ucluelet for 44 years, 11 of which were at 361 Main St.
20	739	Frequent visitor
21	743	resident property owner
22	772	I live a block away
23	778	I park downtown and go for a walk most days I ca
24	791	Shopping downtown
25	798	Maybe go just for edge to edge and canada day celebration is all
26	802	i work downtown
27	803	I use the downtown parking for when picking up Liquor for my business or other reasons pertaining to my business
28	811	Frankie's resto-bar
29	824	I have lived in Ucluelet seventy-three and a half years
30	901	Work downtown at local business
31	905	I'm at out of town business owner ..Selling cedar weaving to local business and tourists ..this makes me worry about how it will affect business owners

4) Please review the proposed village green design below. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

Respondents: 284

#	Respondent	4) Please review the proposed village green design below. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?
1	12	No.
2	13	Testing the functionality of the survey
3	14	Looks amazing!
4	15	Gazebo for out door music Wheelchair access to see the harbour Make sure there is funding in place for the playground, don't want to see it sitting with only a swing-set for ?? amount of time before funding and installation is scheduled
5	16	The flowering bushes around the Main st. edges of the green should be preserved as much as possible. The design itself is excellent.
6	17	I appreciate the additional sidewalk space but have concerns about the reduction of parking in front of the village green. Considering how much rain takes place in Ucluelet, some kind of gazebo or covered space could be useful. Increased public water fountains, garbage, recycling etc. I'd also like to see clear designation for wheelchair access down to the waterfront in the next phase.
7	20	Would it be not a good idea to have covered picnic tables that could be used for markets and events? With our amount of rain it would increase the usage and helps the Ukee market so much:)
8	21	I hope there will be an additional play structure added to the playground area (in addition to the current swings). Also consider leaving the Rhodo bush in the play area as our kids love playing in it.
9	22	It would like to see the parking on the seawall be eliminated, a cohesive Village Green that includes that precious section of seawall/waterfront. I realize that the Whiskey Dock is in fact part of the Highway/Mainstreet, I would like to propose a stop sign at the exit of the Whiskey Landing Parking area: many close calls involving pedestrians and vehicles there. Also a sidewalk to the new parking lot, and a crosswalk from Whiskey Landing to Crows Nest - thats where everyone crosses anyways
10	31	Where are the washrooms?? If we want people using the area and staying for periods of time there needs to be washrooms and not the ones in the aquarium.
11	32	Improve the playground!!
12	33	I hope the updates will focus to create a more convenient, intuitive, and safe experience for pedestrians moving through the area by foot. The narrower roads and larger sidewalks/walking paths look like a fantastic upgrade to what we have.

13	36	Will electric car charge stations be pay per use? Or are taxpayers paying to charge cars for free? Charging stations should be in the municipal parking lots on cedar road to encourage parking there. Utilize the extra space from those stalls for stroller/bike parking for the playground.
14	37	Looks good - keep the white entrance pillars
15	40	It looks fantastic!
16	41	The district encourages downtown businesses and employees to walk/bike or park in the cedar road lots, would be nice if the did the same. Employees taking up parking spots in front of yayu and Zoë's is unfair to the down town businesses. Take more parking away will only increase this problem. Instead of cutting trees down relocation would be the preferable way to do it. Those maples are part of Ukee history
17	47	Keep performance and mature trees and flowering plants. Beautiful and abundant flowers also attract pollinators. Yes to native species, and leverage existing plants in design.
18	52	Two pitfalls: Hard disconnect between Village Green/Inlet and Peninsula - Shore themed landscaping and supporting infrastructure (seat walls, lights) need to establish a connection between visitors of the Tofino-/-WPT Lighthouse axis and the Village area. Main focus around the UCLUELET Brewery building leading down Main. Schedule 8 - Artwork/historic piece. A major possibility for disaster that could possibly taint any effort around the village area. Examples: Raven Ladies, Crying woman (Tuf
19	54	I like the pedestrian crosswalks and the expanded playground. The sea wall is great. The central path is also great. I like the whole design and have no concerns.
20	55	Are pathways accessible to all? (Scooters, wheelchairs, etc)?
21	56	I think it's a great idea. A major upgrade/improvement to the kids park would be huge as well.
22	59	Would be lovely to have some sort of bandstand for performances like on Canada day. Something with power so speakers could be used for special events.
23	60	Please consider commissioning local First Nations artist for #8. Include interpretative signage re: First Nations culture, history and/or language (consult Yuuʔuʔiʔath). Garbage can wraps by local artists (see downtown Tofino). #12 Accessibility ramp is a dead end? Can it be a loop back to side walk or waterfront walkway with accessibility ramp at other end by Jamie's? Water-filling station (see Hotel Zed Tofino)?
24	61	Keep existing and plant more rhododendrons. Expand kids park to have more swings. Make the kids park amazing so more people will be attracted to the area, hang out longer and therefore spend more money in the area. Have two sections one for toddlers and one for older kids. Put in that bouncy rubber ie parkville park.
25	63	I'd like to see Main street closed to vehicle traffic. Pedestrian only, at least during summer.
26	65	No. More green space makes it welcoming and will create a hub.

27	70	Uplighting trees for winter brightness and warmth. A small covered bandstand with electrical and plug in for speakers. This is a fantastic hub area with so much potential for community gatherings but needs a bit of infrastructure to succeed effectively. (E2E would also benefit) Very happy to see Art listed at the entrances, will certainly add to culture and aesthetics.
28	73	I've thought for years that main street should be a one way road going down from Peninsula. The confusion when coming up the hill, combined with the Coop parking lot entrance/exit onto Peninsula causes a lot of frustration. The stop sign on the eastbound side of Peninsula is the only full stop, and most (tourists especially) don't realise the rules at that intersection. There used to be yield and right of way arrows on the Main St. hill, but they've worn off.
29	77	particularly like the planting with logs and boulders and the seatwalls. I see no provision, however, for rain protection. If the market continues at this location perhaps some fixed umbrellas or otherwise collapsible rain covers could be investigated??
30	78	What is the plan for the space across Fraser Lane from the area containing the municipal building? I like the multitude of crosswalks and the diagonal path. There are very few parking areas devoted to electric charging. That's good, more electric charging should be nearby. I think limiting parking in this area is good. Perhaps removing the parking along Fraser Lane would improve the overall feel of the new plan. Cars could be directed to the lots near the RCMP building.
31	80	I am a parent of young children and here is some input I have for the playground area: include a bathroom (not porta potty), include a fence or barrier to separate the playground area from Fraser Lane, include more than one of each type of swing (infant and big kid, so at least four swings), more seating for families, and loose parts play materials. You could engage Carolyn Langhelt from the Strong Start program would be an excellent local resource to engage. Nuuchahnulth signage for plants
32	81	I would get rid of the parking strip on the waterfront. Close that road and force parking and traffic off the village square. This would open up more space where a stage or gazebo could be set up on the water to encourage events and entertainment as well as make a functional area for the community to gather.
33	82	Overall this looks good. Presently I see the need for a sidewalk from Helen Road (at the intersection by Frankie's and Zoe's) to the waterfront. Now there is no safe sidewalk. In the summer , I deal with traffic when walking. and when I am driving I deal with visitors treating the road as a sidewalk. The more difficult challenge is parking. Hopefully the new lot behind the Crow's Nest will relieve some pressure. Last summer it was often almost empty. Better sinage is needed.
34	85	Looks good. A dedicated space for a small stage/music (which could be as simple as a small pad with 110v) would be nice.
35	89	As a
36	90	As a disabled person confined to a mobility scooter I applaud the changes that make the area more accessible for the disabled! Further to that I would

		be happy to offer my services as a sounding board for these and any other improvements to disabled access! Scott Murray onvi@telus.net
37	93	I like the proposed plan. Public washrooms definitely needed! But where is the Tsunami protection? District office basement will be fully submerged if we get a surge. Eventually I think we should block off Main St hill from cars so that Peninsula just runs straight. Make the hill a series of viewing decks and gardens. That hill has always sucked and tourists don't know how to drive through it. PLEASE consider similar improvements to the front of the info centre! Needs grass, greenery. Very ugly
38	95	In favour of renewing/expanding playground area with parking entrance from behind the playground. Not in favour of expansion of lawn/taking out parking spaces in front. The lawn/green space is already under used as it is and the parking area becomes full every summer.
39	96	Please consider a water bottle filling station or water fountain, as well as public washroom. Anything to provide some covered seating space would be a great asset.
40	98	Please save the rhododendrons in the playground! The kids use those for play (hide and seek etc.) more than the actual playground equipment. Are we losing the pedestrian area by Zoe's, PRAS and Yayu? I hope not as that area has been greatly improved by recent planters etc. Cars should not be parked in that area, particularly in the area by #5. Ideally one (kids especially) should be able to walk from the playground to Zoe's without crossing a carpark. A bus shelter would be a great addition.
41	99	I believe the cenotaph should stay at the ANAF. There has never been a cenotaph at the district office, although you wanted to put one there in 2014, and I believe its place at the ANAF is more fitting.
42	103	I would love a weather-proof shelter at the bus stop on Fraser Lane (marked on plan), so that I can wait for the bus or my pickup sheltered from the wind and rain. Glad you are planning to keep the trees.
43	105	I like the traffic calming measures by tightening the throat of the road at intersections. I hope for an epic playground as this is the main gathering spot for families. Please keep or transplant large rhododendron by the swings. The kids like playing in the rhodo and trees more than the playground
44	109	-A bus station waiting area with roof covering. Just like a mini bus stop. - Some sort of band shell would be cool for outdoor live music venues. -You don't need metal caps on the wood benches, that just makes them look silly and uncomfortable. -Do not get rid of the rhododendron beside the playground!
45	115	There is a huge need for public washrooms and a greatly improved park, one that is fenced! I strongly suggest hosting a family forum to pick out playground equipment and design the park. Our community has so many families with young children, what an opportunity for an amazing downtown park space (ie have you seen the parkville park!!!!)
46	116	As we have many young families in Ucluelet and this downtown area is frequented by these families and their kids, I do think the park needs to be expanded beyond what is proposed here. Families in the region have visited

		so many great parks - an opportunity for families to weigh in on the park design would be crucial to a well-received, well-used park. I would like to see a local Indigenous artist to create the corner entrance piece. Also public washrooms
47	117	My only concern is that the playground be fenced in a way that protects the kids from traffic. We cannot count on drivers to be travelling at a reasonable speed... I'm not saying the whole thing needs to be fenced, but make it really hard for wayward toddlers and small kids to get into traffic please. If that were done, I wouldn't even mind the fish trucks coming up Fraser lane. Oh, and the kids love the bushes that are in the park now. Thanks guys!
48	119	I like it
49	120	Love it. Especially the removal of the parking spaces on the south side of Fraser Lane to increase the space of the green.
50	125	Overall supportive Question the elimination of the two parking spots adjacent the sea wall/pedestrian cross walk. Would it be possible to only allocate .5 of a spot to either side of the new cross walk? Between district staff & van dwellers there's already almost no parking for quick errands to the district office. Maybe allocating some of the parking to 15-30min limited parking would be a good addition
51	152	I think the revitalization is a great idea. It would also be beneficial to the community to repair the 3way + co-op intersection. It is my belief that with proper consultation, a roundabout would reduce the confusion for our visitors. Lastly, beautification of Peninsula from the Raven Lady to the Co-op. Trees, art, historic artifacts, angled parking and continued support of our First Nation heritage. There is so much potential.
52	160	I don't think the walkway through the green space enhances the area. It chops up the beautiful green space. Don't think it is necessary.
53	169	Stop wasting money on these types of projects and let's make the sidewalks safer. Our town looks like crap as you drive in, let's work on that first
54	170	Looks lovely
55	171	Some shelter at the bus stop.
56	175	Playground! Great idea. Needs to have a small area for little ones (preschoolers) plus a larger adventure playground. Like Tofino. Nautical/West Coast theme! There are grants available from Tire Stewardship BC.
57	177	The playground is used extensively by visitors + locals. Many current parks are outdated in their approach to play - creative play with natural landscaping + materials is the updated philosophy. This fits with my observations of kids playing in the existing rhodo hedge and trees, making up their own games while waiting for time on the 2 available swings. Suggest looking at Montessori designed outdoor play areas e.g. Toronto, and the Children's Nature Play Park in Pemberton,BC for further ideas
58	178	I would like to see Fraser lane initially closed to traffic from June through October each year. After a few years look at reclaiming Fraser lane

		permanently and create more grass and picnic areas that can also host the weekend farmers market
59	187	It seems like there is a lot less parking?
60	197	Angle parking is great because it creates more parking spots. With there was more room for that on both sides of street. The parking lot or art store/veggie restaurant area between 5 & 10 there seems to be neglected. Can you plant some green-space or palms to create more inviting entrance to those two business exteriors. Its pretty ugly as it is. I like the addition of green at other cross walks.
61	198	To block access to parking in front of the Crow's Nest would be a huge financial blow to this business and other businesses affected in this way. These historic businesses need to be honoured and respected not just knocked off the road and relegated to a back space. Totally unacceptable.
62	201	Looks good overall, but I see only one spot that is to be an electric car charging station. I hope there will be more, here and there, throughout Ucluelet. Climate change IS UPON US, and we need to do all we can to get away from cars powered by fossil fuels! Some locals may have their own EV chargers available, but tourists will need to have them available too!
63	202	I would like to know how many of the current maple trees are going to be removed. This was a concern several years ago when previous administration proposed removing and the community was not in favour of this. Also, I'm not sure about changing or redirecting the pathway through the green - what is that accomplishing - there is an existing path there now - connect it to a new path - it doesn't have to run in a straight line.
64	207	Looks cool. My one comment would be to put a sidewalk on the other side of Helen Road. What about consulting with Ucluelet First Nations for the art relic? could be a totem pole perhaps?
65	208	seems like there should be bike parking by the Public Seating area (#7)
66	211	shut off the front lane to traffic completely and connect the waterfront to the grass area
67	213	I don't think the EV stations should go right beside the playground. If it's going to be basically reserved then Reserve it for parents with children. Just put a couple more at the new lot on Cedar Rd.
68	214	One concern is the access from Fraser Lane to Helen. Currently the issue I frequently have is, the lack of view to the left, when large vehicles park next to the building. We have far to many blind corners in our community as it is.
69	215	Sea wall should be as continuous as possible. Outdoor Eating areas Playground is well used, very important.
70	216	Number 8. Incorporate an interpretive historical kiosk, that tells more of the history of the town, than a relic alone can do. The interpretive display should be changeable, so that local people have the opportunity to easily learn more of their history over time. As a director of the Ucluelet and Area Historical Society, this has been my long-standing dream.
71	222	Don't remove or damage the existing trees. Adapt the plan to incorporate them. Seatwalls are a great idea! I like the illuminated central path. Makes the site more accessible for everyone and saves the grass from trampling

		feet. Night illumination will be lovely on summer evenings, but be sure to direct the light down onto the path, not up creating glare.
72	232	Not sure a huge expenditure is necessary. Huge \$ spent for the “necessary” parking lot behind the crows nest which is rarely used. Fix the sidewalks that are in pieces around town and add sidewalks so students can get to school safely before starting a new project
73	234	I think it looks good but there really needs to be a bit of covered space! There is no where to sit under cover on rainy days around the green and it would just be so nice to be able to do that.
74	235	Please keep as many of the existing trees and rhododendrons as you can. The huge trees in front of the district building facing the water are gems that should be protected, as well as the old rhododendrons by the kids park.
75	236	addition of a permanent roof covering in one corner of the lawn (main and fraser triangle) for seating/standing/stage room for a place out of the rain/sun where we can listen to speakers and hang out in an open air setting without getting soaked/burnt (but mostly soaked). Cool if it was big enough so we could move the Sunday market to this covered open air area. that way people can still wander around at markets without booths/people getting wet!
76	238	- It would be nice to have bike rack(s) somewhere at the corner near Zoe’s bakery/Yayu Cafe. - Add bike rack on village green near playground. - I question the location of the crosswalk at the corner of Helen and Fraser lane, seems to me like it should be right at the intersection rather than set back - ADD 2 direction bike path/route!!! so cyclists can avoid Main Street - example bike lane/route joining Imperial lane to Cedar rd (and continuing down cedar rd preferably).
77	239	Looks like number 12 - accessibility ramp - is in and odd place/ afterthought. Should it not be connected to other walkways/ crosswalks!? - A permanent covered area (gazebo/stagestyle) for events/ lunch breaks/ etc would be a good idea - put an art piece at all three main entrances?
78	241	Parking around the district office are is already a nuisance, now you take away more parking? The business's in the adjacent building don't use any type of loading dock and their delivery trucks park anywhere they want often blocking traffic and making it difficult to maneuver around. Why don't district employees use the Cedar road parking lot and free up parking for the playground. Fix the traffic before beautifying a outdated building.
79	249	New crosswalks and centre path are great. Concerned that all 4 mature maples will be undisturbed as they are a longtime stand out feature. Would like to see some traffic slowdown speed bumps put in place particularly on Helen Rd. where people are racing toward an area congested with 4 eateries and much foot traffic. Making the village green more attractive will attract even more people to this spot.
80	250	The cenotaph seems relegated to the back and I wonder how the Remembrance Day services would be arranged to allow people to lay wreaths. Could it be in a more open area? The sight lines to the playground are important to me. As a parent, I love to attend the market and events while keep an eye to the park. I hope the plans will allow this. Bathrooms

		close to the park are really important. I have no concerns about losing the parking in front of the Village office.
81	251	looks great but if we could keep the bushes at the playground the kids including mine love to play in them.
82	259	Please consider street lighting that is consistent and acknowledges the environment. May I also suggest an area dedicated to rotating local art displays and permanent local first nations art in the gardens.
83	260	The corner of Main/Peninsula needs to be addressed. Access down Mainstreet is very difficult for those with mobility issues. The "Zoe's Picnic Area" needs to have signage to show that it is public, many people (visitors and locals) still view it as an private amenity). Please add accessible parking spots Downtown parking should be time limited. Seasonally, almost 12 spots are full daily by those working /living at The Lodge businesses , VIHA office and other downtown businesses.
84	262	The plan shows only 2 handy cap parking spots. I do not believe this is enough and possibly more should be added along Fraser Lane, and Main Street. Perhaps some small single person tables along the seatwalls. I would not like to take up a whole picnic table for a single person.
85	269	Over all I like the design and enhanced area. Would support the further thinking of the maple trees.
86	279	I like the idea of taking out the parking on the waterfront, making that whole area a pedestrian space. The new parking lot off of Cedar is available. This would enable more space for markets and festivals without the hassle of having to block off parking, just the street during usage. Perhaps that would discourage the car camping during the summer months. It gets very congested with drivers, cars parking and pedestrians.
87	280	-Why does the district office needs to be in the middle of the most active tourist area in town. I imagine that more business in a central area would benefit tourism and local business owners? -4 crosswalks on Main Street seems a bit much -This plan doesn't address the corner of Main and Peninsula AKA Suicide corner. -Trying to imagine a delivery truck in the new design, currently the trucks park on the street in front of the restaurant, with all the beautiful green space corner bump worse
88	281	I think most if it looks great, however I am very concerned with the amount of parking that will be lost. The downtown core already struggles with parking in the summer - it was full every single day from July-September. Taking 9+ parking spots away seems counterproductive, even with a new parking lot that no one knows about (needs better signage).
89	285	You are taking alot of parking places out and in summer we need all the parking places as possible as it is getting busier and busier not even just in the summer during the spring too....
90	292	electric charging stations should be elsewhere - waste of space for a pedestrian centre really need to beef up services for the market - perhaps a covered gazebo no one walks that area at night - except me - believe me! if you tie it to Whiskey Dock and expand the dock for seating etc. that would be cool need more businesses down there to attract more people shouldn't

		we be concentrating on more affordable housing rather than more green-space? having entertainment or yoga there (in a gazebo)
91	294	The electric vehicle parking will be a great improvement. I've seen tourists simply plug into my friend's business which is nearby on Imperial Lane when they left out an unguarded extension cord since we are lacking sufficient fast chargers and we have zero superchargers on this side of Sutton Pass. Hopefully the chargers installed in the Village Green will be fast chargers so that tourists don't have to steal electricity from local business owners.
92	295	I would like to see at least 3 parking spots in front of the Crowsnest. I feel the loss of close parking will impact their business in a negative way and will also make it more difficult and inconvenient for handicapped people, the elderly and parents of young children. It would be a shame to lose this long standing business. I would like to see more reasons to shop in town, not less. Thank you.
93	296	Love the expanded playground, but it might make sense to have an additional crosswalk (9) closer to the playgrounds crossing Fraser Lane, than two next to each other at Helen & Fraser. I also feel as though using the existing parking stalls to create electric charging stations (10) is a waste of space! With all the new charging stations at the new parking lot, I would much rather see this space used for green space/picnic tables/gazebo/bicycles. And we NEED more garbage & recycling stations!!!
94	301	Fraser lane needs to go. This is a park surrounded by traffic and offers little improvement over existing conditions
95	307	I commented previously before I studied the plan completely. My initial comments were connected with the changes from Helen Road to Fraser Lane. I have since discovered that I did not look closely at the Main Street Fraser Lane intersection. I fail to understand why the parking in front of the Crow's Nest and other spots on that side of Main Street
96	313	Another information centre. Older kids play area, basketball maybe.
97	314	We need our parking spots for busy season
98	315	It's taking away public parking which is already an issue during peak seasons. I do not agree with this "upgrade"
99	317	- Make an amazing unique kids playground - Instead of electric car parking spots, put in family parking spots as it is so close to the park - Put rain protection over selected seating so there are options when the weather is poor, not all as we want the sun on our heads when its out - Some sort of stage or raised section for music at the markets or any time for buskers etc - Consider a one way loop anti clockwise - Improve the corner by the brewery, just confuses everyone driving and walking
100	322	I have concerns about how the loss of parking is going to affect businesses like the historical Crow's Nest
101	328	I think getting rid of parking is a terrible idea . If anything we need more parking . The lot that is hidden behind the crows nest nobody uses because it's hidden. It does not make sense. I don't understand why getting rid of parking spot is on the agenda of the district. People with their pencil crayons who have secure and safe jobs should not mess with people with local

		businesses. There is no way that this is going to have a positive affect on the businesses in the downtown core.
102	329	Is the parking at the municipal building for visitors, staff, or both? I think it could be smaller and only be a few spots that are accessible parking stalls for people with mobility issues to get around the Village Green area. Staff and visitors wanting to use the municipal building or park can use the big new parking lot behind Crow's Nest. It's a 60 second walk to the building. Well maybe 3 minutes with small children and strollersbut still worth taking out concrete from the village core
103	342	The lack of parking in the village square is a PROBLEM, even though a new lot has been added. To remove so many spots doesn't make sense. I am not sure what is trying to be accomplished by this, as parking is a necessity in a rain forest community. It seems this is designed for the 'tourists' eyes, without regard for the locals who frequent this area of the village square. It also does not seem fair to the existing businesses to remove so much parking from their use. Leave area as is, it's fine.
104	345	The parking situation on Main Street is already a disaster. I work right there and often cannot find parking in the new parking lot in the summer time. Competing with RVs! We can't get rid of more parking!
105	346	I think a public water fountain that people can use to fill up refillable bottles would be a great addition :) Reduce plastic waste!!
106	348	Water refill station would be an asset. Parking is already an issue, this appears to worsen the problem. Sidewalks will hopefully connect to pedestrian pathway along Helen Road. It is much needed for the safety of our locals, especially kids.
107	349	More considerations for parking in the downtown core. Additional washroom facilities not so out of the way as the current ones.
108	351	As seniors who already at times have difficulty finding a parking space downtown, we don't agree with having so many parking spaces taken away. Removing parking from in front of the Crow's Nest makes no sense at all! We also question the logic of placing a crosswalk right at the top of the hill coming up from Cedar, where it merges onto Main Street. It is all very well to make the downtown core more aesthetically pleasing, but Ucluelet cannot afford to lose all these parking spaces!!
109	358	I really like the path #1 and the all access ramp #12 - elegant solutions! The crosswalks are great but I have some concerns about the crosswalk on Main at the south end as drivers coming down the hill may not be able to brake in time on the slope. The crosswalk that connects to the Crow's Nest is good but the associated loss of parking there is a concern. My biggest concern and strongest suggestion I have is to NOT eliminate the parking along Fraser Lane in front of the municipal building.
110	368	It looks like there's reduced parking on Main Street. More parking is needed not less. It's not easy for some of us seniors to walk far for services on main st. I have had to drive around the block several times in the summer to get close to the business I needed to access.
111	369	Likes: addition of illuminated path and seatwells at municipal hall as well as more electric vehicle charging stations Concerns: removing parking spaces

		from the Aquarium, the District office and the Crow's Nest. If the District/Aquarium do not have enough parking spaces for all of their employees then the limited parking in the downtown will fill up even faster, defeating the purpose of having more people spending more time downtown. Needs: a public washroom close to the expanded playground.
112	370	Like the design. One request if possible it to meet keep the tree at the base of the playground as it is a huge part of why kids love the little playground so much. They spend half their time in the tree.
113	372	Where are people going to park? Even either additional Cedar Rd parking it is almost impossible to find a parking space in summer. It will only add to the congestion on Peninsula and create more problems for Coop and the plaza parking lots
114	373	Losing parking will negatively impact the area. Is there a way to angle parking on both sides of Main street? Is it possible to add street parking on Helen (between Fraser lane and Main? Very supportive of this project overall.
115	374	The extra green space looks great but please do not get rid of the parking spots! We hardly have enough spaces now so taking so many away would make it almost impossible to find a spot. Local businesses will suffer.
116	375	Maybe back to the drawing board 🤖 ? functionality and being practical is more important than a pretty facelift. The Main Street (Coop hill) is a big problem area. Revamp to one way traffic up or down . The crosswalk in front of Brewery is also in a very bad location. Traffic gets backlogged coming up Main Street and stuck on the hill. Semi trucks just get moving from the stop sign and then need to stop again. An accident waiting to happen especially in the summer. No to reduced parking
117	376	Absolutely horrible plan taking away parking is a bad idea disable parking is a must I can't even believe it was put forth to the community?! Go back to the drawing board please and offer us some thing we can work with
118	377	I see a amphitheater style array from Fraser and Main back towards a triple high beam open level public platform in which all future events and parking under could be achieved.This would allow a true multi use even emergency helicopter on the grass supported roof.
119	378	The loss of parking is not acceptable. Yes there is a new lot in the rear but that is great for tourists on summer days not in the off season when the rain is pounding and we all just want to run in and out of the local businesses. There isn't enough downtown parking now. The would be devastating to the aquarium, The Crow's Nest and the other downtown businesses. As an Aquarium Board member I oppose this plan.
120	381	I own Gypsy Drifter, a retail shop located at 272 Main street. We cannot afford to loose any parking on our downtown area as customers and staff already have issues finding parking.
121	383	I think beautifying the area is wonderful however removing parking spaces seems like a terrible idea as parking is already an major issue for this area. Even in the off season, finding a spot close to my place of work isn't easy. And we often have heavy boxes of inventory etc to haul into the shop, so parking far away is a huge inconvenience.

122	384	Already a lack of parking downtown, getting rid of parking spots to expand a green space doesn't make sense.
123	385	The plan looks lovely but in reality our community has a strong vehicle culture. Locals are use to driving directly to each business, which I do, and businesses want us to have easy access. Promoting more of a walking environment which is presented here will be a hard sell but not impossible over time. This includes locals and visitors.
124	386	-Love the idea of sprucing up DT -Very concerned about the removal of parking spots and impact on businesses.
125	388	Support revitalization of Village green but do not support the removal of parking.
126	389	commented before but thought of something I missed. It is not clear in map but have been told that Fraser Lane will be one way heading from Helen to junction of Main. I think it would facilitate traffic flow better if it were one way heading from Main up to Helen. Then a driver would be able to turn either left or right at the bottom Main. So a driver would then have the option of going either left or right at Helen road and continuing on to other streets. Continued later
127	407	Loss of parking to businesses and services in the area. Access to aquarium and farmers market. More cars using parking spaces in residential areas surrounding village green. Where is nearby parking to park and walk.? Could not the electrical parking stations be moved from this area to somewhere within walking distance. Perhaps providing public transport to area.
128	421	We need more parking not less!
129	428	I heard something about one way streets but couldn't find any info about it online. Can you tell us more? Eliminating so much parking is concerning, when there is so little to begin with! And.... Any chance of addressing the craziness that is peninsula / Main Street/ coop intersection? It is awful!!!!!! How about a roundabout? Or eliminate left hand turns in all directions?
130	451	improvements to area will show great pride for the Ucluelet community
131	457	I work at the BCL. There is already a huge problem with parking. Even with the new parking lot. We cannot take away parking.
132	459	This looks like a beautiful plan & park. My only concern is how this affects the local businesses in the area. My family and I visit tofino & ucluelet throughout the year and enjoy buying local wherever we can. I would hate to see these businesses given less of an opportunity for business and income due to loss of parking space. Please consider these local shops in your plans and keep local business alive.
133	460	I think the disruption to the parkings spaces will be quite detrimental to important local businesses.
134	462	Last year demonstrated the drastic need for more downtown parking. How will removing so many spaces help this issue? It was my understanding the new parking lots were designated for overflow? not replacement of existing spaces?

135	463	give crows nest parking!!
136	464	Who's idea is this? Come tourist season there will be less parking. It's hard enough trying to find a good spot to park. What about the Crows nest? That's been there for years, longer than most locals that live in Ukee. If I'm to suggest anything it's to take 11 out of the picture, we need more parking not less.
137	465	It is crazy to remove parking spots, as we do not have many already. It is so packed in the summer around there that there is no parking spots, All so what about the crows nest that has been there for a very long time with parking spots that you won't to take away crazy. THE PARKING SPOTS AT THE CROWS NEST SHOULD NOT BE REMOVED.
138	466	Dont agree with Loosing 35+ parking spaces for this design.
139	478	I am concerned this plan will do a disservice to the community by taking away parking for locals and seniors. By adding costly parking prices I would be less likely to select Ucluelet for a future travel destination. Pushing out low income populations out of increasingly urbanized spaces is highly unethical.
140	479	Without the addition of parking elsewhere or public transport to the eclectic mix of local shops, you'll just be adding a barrier to people supporting these vibrant small businesses. That hill is nasty and without direct access, the elderly and those with locomotor disabilities may struggle to access the area. I know electric car charging stations and green space are a must in towns that want to attract tourism but, be careful to not alienate the small businesses that give this town character.
141	480	A waste of money that could be use in better ways. Also downtown is just fine as it is. It's called Ucluelet.
142	481	It is hard enough to park downtown, which is surrounded by steep hills, we should not be removing parking spaces.
143	485	I have concerns about the amount of parking spaces that are being removed from the downtown core.
144	487	Every time I visit Ucluelet, I park at the Crows Nest and walk from there to view, shop, etc. Where is closest parking preserved in the new proposal?
145	488	i do not agree with the loss of parking spaces, it is already very difficult to find parking in this area. even though the new parking area has opened up behind the crows nest, it does not have great accessibility features. I have also heard from a local business owner that this will impact her business negatively. She has a great store that I use often and, given the dearth of shopping options already in town, I am surprised you would not consider this.
146	499	I'm unclear on how much parking will be affected. I do think we currently do not have enough downtown parking.
147	501	How do people get access to the village green other than walking? I would love to be able to get to all the businesses that I currently frequent with either car or other mode of transportation?
148	504	I always shop at the Crow's Nest but this will no longer be possible if I cannot park outside the front door as I am handicapped.

149	505	fixing up the village green should not mean removing parking. we need all the parking we can get. I shop at these stores all the time and it would definitely be more difficult especially when it is raining and blowing. I am elderly and do not walk as well as I once did. This area is historically important and is the location of our oldest building. Do not put our local businesses in harm's way. We should support local businesses and I always try to shop locally. Keep our parking. keep our shops
150	511	You mean harbour view not "ocean view".
151	534	PLEASE DO NOT TAKE AWAY ANY PARKING. FOR THOSE OF US WITH HANDICAPPED DECALS, PARKING AVAILABILITY IS IMPORTANT.
152	536	If parking spaces are to be removed they should be provided nearby in a new parking area
153	542	I really like the plan but am concerned about parking loss
154	544	The redesign of the green space area itself is good in concept but I have concerns about getting to the businesses in the downtown core. I live outside of Ucluelet but am a frequent visitor by car. Often I bring my elderly mother to visit as well. My mother has mobility issues so parking close to the stores in downtown, particularly the Crow's nest is important. The plans take away parking access - that is a problem for my family. The plans should be modified to keep parking in the core.
155	545	We need the parking to access the crow's nest, which is a mainstay of our community.
156	546	Removing car parking spaces will limit access to those with mobility concerns, eg the elderly and disabled
157	547	I come to Ucluelet on business. This program seems to eliminate parking spaces near to The Crow's Nest. I rely upon this store for my business needs. Surely some parking at the store should be allowed.
158	549	Don't do it, it will hurt local businesses and increase property taxes. This does not help locals in any way.
159	551	Don't do it, it will hurt local businesses. No locals will use this space. How are the elderly gonna access the bank?
160	554	I have concerns about access and parking for people with mobility issues.
161	559	I had done this survey already, but have recently become more well informed about what the effects really will be. I had NO idea that so many of the current parking spaces will be lost. I am NOT in favour of these changes. If the village green can be beautified somewhat within the space it currently occupies, ok. BUT nothing needs to be done at all if it will result in less parking in that area! We need ALL of the parking spaces that are there to be left there! Laurie Crozier, 250-726-2160
162	561	If this happens we would like to see mayco walk to work !! This is horrible idea will put my work out business a sibgle mother plus 3 more employees for some greenery
163	562	I think it looks nice, but if this effects parking for local businesses like the crows nest or pioneer then I don't think it's a great ideas. As local businesses are already taking a hit due to covid. As a native to Ucluelet, parking is

		important to me as I am disabled and cannot walk long distance to our local stores.
164	572	Looks wonderful ,this is long overdue. The Village of Ucluelet needed a good cleanup and new face in keeping with Tofino. Can hardly wait to see it come alive.
165	573	The removal of parking stalls in front of businesses is a bit surprising. It's not a very walkable area especially with the big hill at the main intersection.
166	574	More trees & plants, permeable surfaces instead of concrete or asphalt, free & fast EV chargers, downcast, warm lighting.
167	581	I'm concerned about the removal of a significant amount of parking in an area that is already difficult to park in. In addition, the aquarium is a significant tourist draw for this area and you are now making it more difficult for guests, many of whom have small children that are more difficult to transport, to easily access that asset. I also believe removing so much parking will make it less safe, not more, for pedestrians as drivers circle the block vying for spots.
168	582	Visited frequently and am aware of the parking restrictions that are already there Being disabled if the parking out front of the crows nest was removed I would not be able to access that area at all.
169	585	Did you even talk to local businesses or people in the "Community"? I would like to see that input.
170	586	There is not enough parking as it is to go to the bank etc. we need more parking not less when tourism seems to me your main concern locals get left behind.
171	588	We can see the logic in your plans. We are concerned for the local businesses and hope that the change will help them.
172	598	There is already a lack of parking with the flood of tourists, making it difficult for locals to use services. Stop catering to the tourists and show you care about the people that are here all year.
173	599	I don't believe the loss of parking is right and that we need the streets repaired with this money there isn't one street in town that couldn't use dips,potholes ,or blacktop!
174	600	I disagree, you've removed to much parking ,ide like to see what the new kids park would look like before giving my go head . What has been done to accommodate the freight trucks using Fraser lane and Main street? Are there going to be stop signs installed on Main street at Fraser Lane and coming off whiskey dock? Traffic is going to be insane there ,the road is narrow now and your going to make it narrower? Is anything going to done to disguise the sewer station ? don't use drift wood logs
175	601	This proposal completely cuts off the Crowsnest. This building is probably the most important Historical building in Ucluelet proper. There is no identified location of Restrooms. The current location of restrooms in this vicinity is One (1) in the far corner of the Acquarium. Several years ago we had adequate restrooms in a portable located near the current childrens playground. Unfortunately this facility was moved to the playing fields and never used. Really swift thinking. This proposal
176	633	Affecting the parking of local small businesses is not a good thing

177	635	The removal of any public parking is completely abhorrent to me. I am a senior with very limited mobility. In order to walk any distance at all, I use trekking poles. So I can't carry anything with me. I can walk into the Crow's Nest, the Aquarium, the BC liquor store, the summer Ukee market presently only because of the parking directly in front of the stores. This will deny me the enjoyment of coming downtown.
178	636	I love the design. Considering the character of the town and our tourist-driven economy, a walkable town centre makes the most sense. The current parking situation in the area is ill-thought out, especially the parking spaces in front of the Crow's Nest - vehicles pulling out of those spaces cause hazards for both vehicles and pedestrians. I think a walkable area is forward-thinking and will help with the beauty of our town.
179	637	Overall it looks like a good intention. Criticism: Solve the clusterfuck of stairs and ramps in front of City Hall. Maintain a lane of parallel parking in front of City Hall on Fraser Lane. The current 2 lanes of traffic have enough space for 3 lanes. #10-More charging stations? No. There are chargers at the current new lot, these should be short term spaces. #12 Waste of \$ and the trees which will have to be removed - there is already wheelchair access from the low side 20m east.
180	638	Dont get rid of the existing parking spots!! The parking lots the district made are ridiculous and not useful to residents. You'll destroy downtown when you remove the parking spots
181	639	No parking will greatly reduce the probability of me returning to Ukee, I have mobility problems and no parking doesn't work for me. I travel here all times the year and walking in the winter months just doesn't appeal to me. If this plan moves forward I plan to spend my time and dollars elsewhere
182	641	More parking less green space
183	647	The proposed design removes way too many parking spaces, for which public parking on Cedar (behind Crow's Nest) cannot possibly compensate. Ucluelet does not have sufficient parking as it is currently--the design reduces parking even more. Also, Main Street is the main route to public parking on Cedar; decreasing the number of parking spaces on Main will increase traffic on Main to access the Cedar parking lot--the opposite of promoting pedestrian use of Main. Helen Rd crosswalk not dsbled acc
184	648	Expanding the playground is a great idea, however there should be more parking by the playground because small children, babies and moms are the ones using this area and require access to their vehicle for things like food/water and diapers. Walking from the new parking lot is not an option. Deleting 35 parking spaces for surrounding businesses will cause hardship to them and to the ageing population who need to bank or shop local. Please reconsider your parking areas.
185	649	Business keeps expanding in the area, yet parking is reduced. It looks like about 35 parking spots have been removed. I don't think there are 35 spots in the new lot. The new lot will not be used consistently by area staff, meaning less street parking available. Only 5 spots for the District staff. Where are the rest of the employees going to park? If you want more village

		green, move the district office to somewhere else in town. It is already a mess, and is worse every time there is an event.
186	654	I have lived in Ucluelet for 28 years and I feel that this takes away too many valuable parking spaces. There is not enough parking especially in the summer! I am not sure this is the best plan for this area...also The Crows Nest is almost hidden and will not be easily accessible, especially in the rainy season. Not impressed with this plan at all!
187	657	I disagree with the loss of parking in the Village Green. We should be able to revitalize the area without creating more parking issues. Our summer months are now busier than ever and ever person that comes to Ucluelet has to get there by car and most accommodations are within walking distance by todays standard. I suggest that we up grade the landscaping in the Village area without the loss of parking.
188	660	Don't remove parking spots!
189	662	I am a person with a disability. If you remove the parking this will make it impossible for me to come into the area. With so many tourists in the summer there is no chance that I will be able to get a parking spot. That area is not well suited for a village green due to the lack of sun and the wind coming off the ocean. Should money not be put into infastructure rather than wasting money on a project like this? What are the seniors and the disabled saying about your plan? Were asked?
190	663	I have always wondered if a one-way street might be a feasible option. Put the one-way street going down Main Street, offering angled parking on both sides. (One lane or two lanes? I'm not sure of the dimensions and what is required for each). This would also alleviate issues up at the intersection near the Co-Op.
191	665	It appears we will be losing a lot of parking, in off season the parking is already full.
192	666	I am concerned that deleting parking directly in front of the bank, liquor store, pizza place, etc will make it more difficult, if not impossible, for those of us with mobility issues to access these businesses. As someone who had knee surgery a few years ago, I needed to park very close by businesses in order to access them. That and the fact that we live in a rainforest, so walking to these businesses is unlikely in heavy rain. I thought we were a community for all ages.
193	672	There is way too many businesses that are important to this community that would suffer greatly from loss of visitors and possibly end up needing to shut down, which in turn would affect the many people in our community that they employ as well
194	673	I just don't see this as a priority. While you have developed additional parking off cedar road it really hasn't fixed the issue of limited parking in the down town core. I do not agree with taking away any parking on the water front. I have often seen cars of district office employees parked in front Will they now take up the parking on Main Street? Also we don't need to overload with charging stations. Are people paying to use them? Or is it free? I do agree with the playground update.

195	674	I have many concerns:1.The drawing fails to acknowledge all “Local” businesses in the area.2.Too many parking spots are being removed-5 in front of a “Local” shop that was not designated on the drawing which is this shops main parking. Parking in front of the village green and a few water front being removed.3.No extra parking going in to replace spots being removed.4.bigger park great but no parking for it just like currently.5.some good ideas for making spaces better but at the cost of parking
196	675	Beautiful design. I am concerned about losing parking spaces in front of businesses on Main St . Lack of parking in these areas is already a summertime concern when tourism is at its height.
197	680	Where will I park in the summer? This is all geared towards tourism, I don't need extra green space because we live in the rainforest already.
198	684	Instead of focusing on the village green focus on the safety hazards like cross walks and proper walking paths first. Then work towards calling this a “Village Green Revitalization”. My grandpa is a sr citizen, my aunts and uncles are not far behind him, they already struggle to get to the bank as it is. While the tellers refuse to allow us to help him with his banking without him present. We can hardly access places he NEEDS to go due to the CURRENT situation, removing parking is not the answer
199	685	As fishing is still part of our industry in this community I’m worried that reducing the overall roadway that large semi trailers travel on might be a disaster in waiting I haven’t heard of any plan to balance the needs of industry to the wants of upgrading our community green space We still have fishing vessels offload at whiskey dock for live ling cod and other species of fish or deliveries or net repairs
200	686	It makes no sense to even consider this project as I believe there are more important issues than beautification.
201	687	Any loss of parking close to the district office, the bank and liquor store is going to make an existing problem worse. This is as silly as adding another dog park(ball field).
202	688	New parking space behind crows nest is under utilized - maybe more signage is needed to direct traffic to central parking lots. I would like to see multi age equipment in the park as the only park that caters for 2-5 year old's is on Norah. Please keep the Rhodos! I think public bathrooms are needed near the park as I have been there when a child has used the bushes as a bathroom, and when a pregnant mother needed the bathroom. better stroller/wheel chair access from #7 towards Zoe's sidewalk.
203	689	This looks awesome but will there be parking close to businesses for wheelchair/ Elders. Does this new space mean more outdoor events, family picnic area. Will the playground stay? Looking forward to the outcome n space for all but not affect businesses.
204	690	As a semi handicapped person with physical disabilities, walking due to bad knees, my concern is the ability to park near to the business’ I frequent. For one, I use the bank and not online, and the B C Government Liquor store. On numerous occasions during the summer high season I have had to circle the block, or hope there was parking in back. I’ve tryed using the Cedar Road

		parking, when it was unsaved and had no access to Main Street. I now am aware that has improved but am able to carry!
205	693	This isn't the best description of what you are planning to do. How much parking is being removed? Sis you see how awful cars were parked all summer up Helen and Peninsula? If they didn't use the unused parking lot then why will they now? Will their be disability parking in front t if the shops on Main Street and access for people who cannot simply walk or bike? I love the playground upgrade please make it large enough for multiple families, as it is currently not big enough.
206	694	The concept is great, however I do not think sacrificing that many parking spaces is a good idea. Until the parking lot accessed off Cedar Rd is a common use we can't lose parking in the core. Even then, it is a great thing for visitors to just pull up in the spaces by the Aquarium and watch the boats etc. We're a coastal village and that opportunity is something we have to offer. We shouldn't take too much of that away. Next thing - where do the District staff park? Not enough room here..
207	695	It would be nice to keep a couple of parking spots in front of crows nest. It's very practical on rainy days. I would shop less there if there wasn't
208	696	Why would you take away parking that was are already lacking in, as well as direct access to the different businesses down there? We are seeing it busier and busier every year here and people already struggle to find parking as is. This is not a good idea. It will only create more chaos in the summer months, more so than we already see - with people who are visiting and don't know where they are going or how to drive appropriately around town or even how to park in the spots we do have.
209	698	Love the walkability concept, less cars = better downtown
210	700	Being an 82 yr old disabled resident this proposal is very disturbing. I need close parking to all local businesses, offices, etc. In order to access them by walking from my vehicle! Ucluelet is a small community, very popular with tourists...but all businesses rely on the residents to sustain them on a year round basis! A large number of seniors also visit & again many are disabled & being close to businesses is necessary! If you implement this Big City plan you are doing disservice! Judy L
211	702	I find it difficult now to find parking. Taking away parking to create green space in front of businesses will not help this issue. Village Green does not not less parking.
212	703	Keep the parking spaces. This project is not needed by the citizens as they are claiming. We need housing. The lot before crows nest should be converted into affordable rental housing. That lot is never used, tourists don't park there as it's too far walking distance to the shops. Only ever seen hippie vans camping there.
213	707	We need more parking for access to businesses in the area. Certainly not green space. We have lots of trails and beaches. This proposal destroys Ucluelet's unique village attractions
214	708	please do not take away existing parking spaces. As is in the summer it is impossible to park making it difficult if you are conducting business ay the bank or liquer store as a business owner.

215	709	It will look nice but there's no reason to take the parking from the crows nest. Everything else could change
216	711	Loosing parking is Going too have a heavy impact on businesses
217	718	Most locals drive to downtown and park beside the place they want to visit like the bank, liquor store etc. It is sometimes difficult to find a parking space to visit these establishments. I prefer to park as close as I can due to age related mobility issues. I would definitely not park way behind the Crowsnest as that walk would be too far away. I agree that fewer cars are better, but because of the hilly area it is difficult to access by bike or walking and a car in this case is better.
218	720	where are the people going to park to walk to the downtown, with the removal of these parking areas? What about the elderly? Ucluelet does not need to be become like Tofino. The reason I bought a house in Port Alberni was that I could not afford to buy a house in Ucluelet. I think a lot more thought need to go into this plan. What will the maintainance schedule be like on these expanded green areas? your staff cannot keep up with the areas they now have to maintain.
219	721	I agree that something has to be done about the pedestrian situation in and around the Village Green. There is no safe way for a pedestrian to walk from Helen Road along Fraser Lane to the Aquarium. The crosswalks at Helen Rd. and Fraser Ln. to take pedestrian traffic through the parking lot and playground area are a good idea. There is currently insufficient parking in the Village Green area, especially in the summer, when I've had to drive around the block several times to find a parking spot.
220	722	Already very difficult to access parking. Taking away more parking spaces simply exacerbates the problem. Also where is any parking for the disabled?
221	723	Taking away parking and narrowing the roads will cause more confusion and congestion. Then take into account that delivery trucks block the driving lanes every day. This design is going to make downtown less desirable.
222	727	There is already a lack of parking in the downtown area so why would you eliminate more parking and keep people away from the downtown core ... it's the businesses that will suffer for some green space that will be as empty as the green space that's there now
223	730	It is a beautiful spot to enjoy the Ucluelet harbour. With that being said I think some of the parking is integral to keeping the small town businesses going. I do know in the summer it can get quite busy down there, I would like to see some green space throughout town, trees that line the main street again and such.
224	731	I do not agree with any development that removes parking. We are a tourist town where tourists visit with vehicles. That is not something that can be denied or ignored.
225	734	Already a shortage of parking in summer making local access already difficult so removing more seems counter intuitive.
226	736	Your building a park to improve access and useage then remove the parking/access. You have a commercial dock used extensively by commercial fishers as well as an aquarium and eco tourists yet your removing convenient access. Makes no logical sense. Our town and needs

		have changed since this was first proposed. It needs to be voted on. Cost benefit analysis may reveal the money is better spent on true low income housing or fix our dirty water issues.
227	738	I strongly disagree with this project as we are surrounded by breathtaking forest and outdoor spaces. The only reason these types of projects are done in big cities is because they don't have what we have. Less parking is not gonna work, forcing locals to pay for parking is also not what we want.
228	743	The planned decrease in proximate parking space is anything but age-friendly. One of Ucluelet's advantages is its accessibility. Both residents and tourists have cars and expect to be able to readily access our central business district .. Historic sites of interest centre around the foot of Main Street. Madden's Store (now the Crow's Nest) is one of the few recognizable historic buildings dating back to the early days of the village. The aquarium, gets no mention.
229	748	As beautiful as it look....locals going to the down town core to do banking, pay district bills, and other business that is required. We can not afford to lose parking spots. It's already frustrating to go down town to do these transactions and not be able to find parking. In high seasons you already have to time these to when the business opens so you are able to find a spot. Locals do not want to walk in the rainy season or the high season to do their business. Do not take away parking
230	758	Although the plan seems solid taking away parking especially from long standing businesses I feel this is wrong and not thoroughly thought through. These businesses have right to thrive and continue. Taking away their parking and limiting access to the area due to limiting parking accessibility does not allow for the city of Ucluelet to thrive and grow with its community. You need to think about your kk g standing businesses and listen to how they feel, these small shops this is their life
231	763	Parking is already difficult while trying to use the businesses located downtown.
232	764	Parking spaces should not be sacrificed.
233	765	We need parking downtown - more not less. It is already hard to park to go to the bank. I go to the Crow's Nest all the time. How can I get there if you take away the parking? Almost 40 spaces gone. This is a very bad idea. We need a vibrant downtown not a park. Don't take our parking away
234	767	The lack of parking, especially parking for disabled individuals is of great concern. It will reduce the ability of people to enjoy this part of town, excluding community members and visitors who are unable to access the space
235	768	I'm not sure how this "greening" of a vital tourist area in front of the aquarium will bring more visitors if there's less parking. You would think you'd want more access for people to come and enjoy the area. Talking with a few of your local commercial and retail businesses around this block, they are as concerned about how it will affect their bottom line. Less customers means less businesses when the crowds want to come. This really reeks of one person's ego before common sense.

236	771	There is not much parking for The capacity of tourists that we have currently and yet we're looking at revitalizing are taking away spaces and adding more businesses that might not even have options for parking
237	772	I have concerns about removing so many parking spots- it rains here most of the year. If removing so many spots where are our elders, disabled members of our community going to park? Our town is not that accessible. There is a giant hill that not everyone can climb as it seems that the district is wanting a walking/biking friendly community. Again, it rains here!! The proposed plans need some revision.
238	773	Considering parking is a huge issue I don't get why 36 parking spots are being taken for?? More green space....isn't everything around us green space. This makes no sense at all. The money involved to do this I think could be used in a way better way than this. I don't feel as though it's an improvement. It's a nightmare to an already big concern.
239	776	I do not understand the correlation between less parking and promoting tourism. Tourists have to drive to Ucluelet to get here and park somewhere. Everyone likes to view the harbour. Marching up and down the Main Street hill is not realistic for everyone. The coop store will not like everyone parking there. Parking is and has been congested for years down on the waterfront. The new proposal does not make sense, unless the next step is to make the Village Green into a parking lot. Not a bad idea.
240	778	My concerns are "if the district has even asked the people if this is what they want(because they have not asked me) and "have the district asked for business owners input who operate downtown?" (I personally have asked 9 business owners that said the district of Ucluelet has never approached them.). Why is this even going on if the people don't want this? Are you asking for a PROTEST???
241	779	Ok to revitalizing this area, but it should NOT be at the expense of parking. The businesses in this area need to keep the existing parking. The area needs more businesses and to be pedestrian friendly.
242	785	Unnecessary loss of store front parking for long term local business.
243	788	looks like we will be loosing too much public parking.
244	789	Needs to keep more of the existing parking, like the extra play space and cross walks through, but oppose the loss of parking. Hard enough to find parking in this town as it is we can't afford to lose any.
245	790	There is not enough parking on Main street now. Losing 22 parking stalls downtown will destroy the downtown access
246	797	I love the idea of revitalizing the area to attract more outdoor venues ie markets, music and the electric charging stations, however I do not think that eliminating any parking in the area is a good idea at all. We have witnessed the parking issues that Tofino suffers every summer and it would be a shame to go down that same road. I hope we can find a happy medium between green space and parking.
247	798	As the village green is hardly why make it more prominent. Visitors come to see nature and that is why they go to trails and beaches not to a downtown to sit on grass.

248	799	Green space is not a priority of residents. Look around, we have so much green everywhere. We live next to a national park. Leave the parking spaces or you will lose the local business. We aren't going to walk to the liquor store or CIBC, we will go to where we can drive and park. We live here and need convenience when there is no regular daily transit to take us places. Also tourists will use other businesses like coop to park and make it even harder on locals in the summer getting groceries.
249	802	we need more parking for elderly and people who can not walk down a hill
250	803	There is already too little parking for the amount of visitors we have coming to Ucluelet. Many times I am forced to choose a different time to come pick up my Liquor as there is never convenient parking. At least when business have to come to pick up their huge Liquor orders there should be a designated pick up spot. To loose more parking will be a nightmare. Also Crows Nest has been printing and supplying items since I have opened. To have to walk over would be extremely inconvenient.
251	804	Handicapping business operations by eliminating parking stalls in this area is lunacy at best. Buy the lot across from Ukee dogs and put a park there. Don't change parking that works for the older residents, families and tourists. These are the majority of users.
252	810	We need all the parking we can get This proposal is not a good idea on so many fronts. We want our downtown businesses to thrive. We love our downtown and it's history. We do not need more shrubs
253	814	I am disappointed to see parking removed in front of Crows Nest. I frequent the area often and appreciate the simplicity of parking in front of the store. There are plenty of trees and green space in the area already. As a customer I would much prefer access to ample parking.
254	815	My main concern is accessibility. I have limited accessibility and want to maintain easy access to the businesses on Main St, including parking in front of the bank. I am unable to walk down the hill, or walk far, so parking is driving access and parking is important to me.
255	817	Where is the Crows Nest parking? Move the municipal employees and put the museum in the building.
256	821	Keep the big Rhododendron at the park. Kids play around it, nice to keep natural setting! I like seeing the expansion of the kids park, although it's not clear what is going to be added. I recommend adding some older kid features since right now it's mostly for kids under 5 (example there is a small slide and climbing feature). Add extra swings, its busy there! Make the playground safe as it's right next to road with big trucks (fishplant) and cars/trucks. Fencing and safe sidewalks.
257	823	Removing all this parking will seriously affect my business and my customers. I am very concerned about losing any parking. We need more parking. Many of my customers are seniors and with the weather being the way it is in fall, winter and spring it makes it impossible for seniors and other shoppers to access the businesses. This is not a good idea at all.
258	824	I don't think downtown Ucluelet has enough parking now and I think it has a warmth and uniqueness that visitors appreciate. The landscaping at the village office was originally done by Ron Matterson, our first mayor, on a

		volunteer basis long after he left office using plants from his own garden. His wife was a botanist which I am sure helped. If bland landscaping is what you want all you have to do is go to the community center or Tofino.
259	825	I am concerned about removing so many parking spaces. Downtown is difficult to access for locals in the busy summer months with lack of parking as is. I believe more defined cross walks and making the downtown area more accessible for folks with mobility issues (ie: slope grading, smoother side walks, ramps into stores without) should be a focus. I don't feel removing so many parking spots to increase the park is in the best interest of the town residents and local businesses.
260	826	I think there is a need for parking spaces to remain in the downtown area. You have the beautiful harbour so why the need to remove parking spaces for greenery? Where will residents and tourists park?
261	827	Although it looks nice be careful about removing all of the present parking. The businesses may fail if there is not enough access.
262	828	I'm very concerned about the businesses that will be impacted by the lack of parking available once this project goes forward. I support those businesses and believe strongly that when the weather is bad as it can be for very long stretches from fall to spring these businesses will suffer greatly!! There needs to be a plan for that large part of the year or I believe this plan could be much more detrimental than beneficial
263	829	This is all well and good but I question its worth considering that tourists don't travel here to see the view of the Ucluelet harbor. There are plenty of opportunity to view nature in Pacific Rim Park, Wild Pacific Trail etc. Given that most visitors are lazy and not that alert how many will take advantage of a new green space when there is no immediate parking in the area? How many people found the new parking lot behind the Crows Nest? Reduction in parking spaces will affect all the business
264	830	Some businesses are seriously impacted by removing certain parking spaces. Older residents will need to walk further and people will park in nearby residential areas.
265	831	The loss of parking spaces near the historic shops downtown would be a detriment , and not fair to existing businesses.
266	836	It might look fine on paper, but the overall gain in green space in comparison to the loss of the parking spaces is not justifiable. The recent addition of the parking lot near the RCMP station was needed as extra - not to replace what might be lost by going through with this proposed park expansion. The pathway right down the middle chops up the space. Improve the current space to accommodate more people without taking away the existing parking.
267	837	The design sacrifices too much parking where it is already difficult to find any free spots during peak tourism season. Finding a spot close to the CIBC branch is already frustrating in the summer for seniors and those with accessibility issues that need to bank in person. The bc liquor store being located there further compounds the parking demands. Designating some of the parallel spots for shorter durations only would be welcomed.

268	840	I applaud green space and the cross corner walkway but too many parking spots have been taken away. Most of the year EVERY existing parking spot is in heavy use. Thee new lot is great and will absorb expansion to the use of the village square but it does not replace the drive-to convenience of parking near the businesses and attractions in this area. Those with trouble walking will simply not stop if they can not park nearby. The crows nest and aquarium would be especially impacted.
269	841	There is an enormous number of parking spots (>35) being forfeited in this 'revitalization' plan! Anyone with mobility issues will find it impossible to access the downtown area given the uneven, hilly terrain. And during inclement weather others will just not want to make the necessary sacrifices if there's no parking nearby. Surely a plan can be developed that preserves needed parking AND enhances the downtown core.
270	842	I am very concerned about the removal of so much parking downtown and being replaced by plants. We need parking. It is absurd to get rid of our parking. It will harm if not destroy the businesses downtown, for what? I go the the ban, the health food store, the liquor store, the pizza place, and the Crow's Nest. Where will I park to carry out my business activities. It makes no sense. Whoever thought this up clearly does not shop downtown or use any of the services and shops.
271	843	I like the upgrades to green spaces but I'm very concerned about losing parking spots. During peak months it is already extremely difficult to park in this area. My mother is elderly and cannot walk the space so parking close by is important. This seems to be planned with able bodied people in mind.
272	845	We need to maintain the existing number of parking spaces which currently often fill up.
273	846	I'm concerned at the amount of parking spaces that will decrease for several businesses that I spend my money at that I need to drive to. Picking up or dropping off large items will be a lot more difficult if I'm walking from a longer distance. This will most likely result in me spending more of my money out of town. I already have a difficult time finding parking for the farmers market and other businesses in the area that on several occasions driven away.
274	847	What recent public input? No one I know was consulted and no one I know thinks we need more village green. We don't use it for much now. How will having more be better. This is the wrong vision for this town. People want to shop locally but will not be able to if all this parking is being removed. You can spruce up the green without removing all the parking. How will people get downtown? No one is walking down that hill and back up with their purchases. Get real. Everyone want convenience.
275	848	Leave it as parking
276	849	Leave it as is. Businesses need parking yo thrive.
277	863	I think taking away one of the few areas in town that is beautiful, interesting, with adequate parking is not in our best interest I believe this will adversely affect our downtown businesses and add to the parking problems of the town.

278	864	Concerns regarding loss of parking, which is challenging at the best of times now. I would also prefer any efforts to improve the town's walkability and aesthetic to be focused on Penninsula, which could use some revitalization. I do support adding electric car charging stations.
279	865	I like the idea of a connection to the waterfront. How far will the waterfront connection go?
280	870	Enhancing the village green is an excellent idea. It was good to create the new parking lot off of Cedar Street to offset any parking loss on Main Street or Fraser Lane.
281	895	Looks nice but need more parking. Less parking will hurt business especially when it's raining. It does that here. Also this should have been better advertised. Seems like it is being rushed through with no time for public input. Have all the local businesses been consulted?
282	900	We need access to our local businesses. I want to shop locally but With less parking how will that be possible. There are a lot of seniors on this town who need access and consideration.
283	901	I work downtown at local business single mother of 3+ a nephew if this goes forward the business im employeed at will close plus all our elders thst use the bank etc local business my papa does not do online he is terrified of this ridiculous plan says you advertise this where you dropped this December 3rd& its due December 31 what the heck is that its the holidays your closed i sure hope you read these please concider the locals stop trying be tofino stop being selfish
284	905	I really feel that the proposed areas should be reviewed and public input or your research should be made known public on display

5) Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

Respondents: 206

#	Respondent	5) Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?
1	13	Testing survey functionality
2	14	none
3	16	Planning for these improvements should consider additional capacity needs of public washrooms based on the anticipated increased use of the space after improvements.
4	17	Not at the moment. Thank you for this opportunity for public feedback!
5	22	Please keep the integrity of our fishing village past when entering phase two, and remember that the Whiskey Dock is still a "working" dock. The area should be much more user friendly and safer for pedestrians, and less emphasis put on vehicles, move forward in an eco conscious way, it is necessary for our children's future.
6	31	It was great when the washrooms that are now unused at tugwell were downtown and there was an obvious washroom available for tourists. The washrooms at the side of the aquarium is unclear and they are not accessible.
7	36	What about moving the municipal building to another section of town, such as the community Center? Repurpose the current building or remove it to create more open space
8	39	I like the plans. Upgrades to the playground will be of benefit to many young families. I hope that improvements to the playground will be done in a timely manner even though they are not happening during initial construction. Often when projects go over budget, the playground is the first thing to get cut. Please make it a priority.
9	40	No
10	41	It would be nice to see this completed in a timely manor, this should be a 6 month project. Let's get some proper project management so it's not a debacle like the cedar road lot.
11	47	Is grass the only option? There are a lot of grass replacement option, low growing, with mix flowers, clover, etc. Grass is boring, and do not support high biological biodiversity.
12	52	In Europe, especially where it's either hot or rainy, market halls have been the staple for centuries to meet, conduct business and hold markets. The districts parking space seems underutilized. A solid roof made from solar panels that would double as sheltered market space is absolutely a must.
13	58	Too bad that building wasn't for restaurants and shops.
14	61	A safe path for kids to use to leave area.
15	65	None

16	66	I think that we are moving in the right direction. There is so much to do in many areas around Ucluelet.
17	77	really like to have this tied in to a similar theme on Peninsula via Main
18	78	The seating walls are a good plan. Views from those areas should emphasize the inlet, mountains and nearby green space. The plan does a good job of eliminating visual distractions, save for the parked cars in view. Electric outlets shown on the plan are a very good idea for markets, fairs and events. Is there a plan for handling the truck traffic necessary to set up events? They might be given short term permission to occupy the parking on Fraser Lane which would normally be unused.
19	80	Overall I think it looks great and am excited to see it come to fruition. Please do engage families in the playground design - host a lunch with playground plans and ask for input. Also please include a public washroom. Walking to the aquarium to use the washroom with a toddler who is potty training is ambitious and half the time the kids will just pee in the rhodos because they can't make it.
20	93	-concerned about tsunami protection of district office and that waterfront area -eventually you should block off main st hill from cars, build series of viewing desks and gardens -please improve front yard area of info centre chamber of commerce. Looks run down and shabby with that ugly green building next to it. Not very welcoming. Needs more greenery, needs landscaping, sculpture . Looks ghetto!!!
21	95	I may have missed it in the images, but adding a stop sign at the bottom of Main Street hill might be a good idea as visibility from Fraser lane is not good and cars race quickly down Main Street.
22	98	Why is the cenotaph being moved from the ANAF? Has that been discussed with them? The ANAF is the logical place for it to be and keeps the ANAF relevant to the community. There still seems to be a huge priority for parking over pedestrians/cyclists with parking lots disrupting and breaking up what should be (could be) flow through areas from park, playground to retail/coffee shops. I would be in favour of putting the parking back on Fraser by the aquarium, and removing some from the Zoe's side.
23	99	What is the plan for the area outside Yayu and Zoe's? Just stays the same?
24	103	Building with climate change in mind (heat in summer, rain in winter) will be key going forward. Thank you for asking for input.
25	105	Making sure there is a fence or some type of boundary between park and parking lot. Lots of little kids move fast and it's stressful for parents to worry about the parking lot
26	110	Bring back a public washroom there was one in that area it was removed and there are not enough public washrooms in the downtown
27	115	Please organize and include an accessible meeting for families when planning the park!
28	116	This area has quickly become a hub due to the amazing businesses that have put their heart, soul, and money into this downtown core. I am happy to see that the District is going to put the same efforts in - the one key thing missing from this area is a really good, fenced in playground and useable

		green space (the district lawn is very often wet and muddy). I support keeping as much green space as possible (not just lawn, keeping nice rhodos and big trees intact and working into the design).
29	117	It seems lovely. It'll be great to connect this space better with the aquarium etc
30	118	Covered area for music Lighted pathway to building Round picnic seating and tabletops around base of trees , leave room for growth
31	157	I don't think the proposed central path enhances the area. Why is it necessary. It seems to chop up the beautiful green space.
32	168	no
33	169	The district has wasted so much money on parking lots. How about putting it into structure like the water line upgrades. Things that taxpayers expect to have their tax dollars used on, not on cosmetics
34	170	A needed improvement for the Village of Ucluelet. This will create a welcoming space for residents and visitors.
35	177	Two sites to look at re: natural play parks https://www.earthscapeplay.com/project/childcare-playground/ https://www.slrd.bc.ca/inside-slrd/current-projects-initiatives/childrens-nature-play-park Have curving paths amongst the trees, vs. that one straight diagonal...I presume everything is wheelchair accessible Solicit purposeful, focused input from Ucluelet FN upon who's traditional territory we sit
36	178	Include bike stands with tool kit and air services. refillable water flask stations. include some ukee first nations art work and carvings more history and cultural teachings.
37	198	Local businesses need to be consulted about these proposed changes to the flow to their parking and customers.
38	214	We might also need to address other areas in Ucluelet where pedestrian traffic is impeded by non existent sidewalks and safe passage on our too narrow streets.
39	215	Pedestrian lane ways needed on walking routes to downtown.
40	216	— — —
41	232	I don't think this is necessary
42	233	While this is a nice project I feel strongly there are SO many more things that are needed in our community. Currently we have a rash of cracked sidewalks, unsafe crossings (ie: by the Co-Op) and Helen Road needs attention to make our community safe for kids and adults alike. Directing needed funds to the Village Green can wait. I would like to see this in the future once the other issues have been addressed.
43	234	no
44	235	Why not remove the street between the district building and the aquarium, make it pedestrian only.
45	236	covered area for markets, speakers, eating lunch outside, etc!

46	238	- plan for increased Electric vehicle charging - e-bike charging? - clear signage to nearby parking areas to promote foot and bike traffic in downtown area
47	241	Fish trucks spilling fish guts all in front of your beautiful green space might make it smell a bit. Should figure out a better route for them.
48	249	Hopefully money left over for Helen Rd. speed bumps to protect the ever expanding foot traffic
49	250	I'm glad this is a priority and wish we could also address the flow of traffic at the top of the hill as well.
50	259	Please consider street art for cross walks and used for directions to the village green.
51	260	- please add: a bike rack area for those visiting downtown, covered bus shelter , bear resistant garbage and recycling bins.
52	269	No
53	280	Stop sign between aquarium and whiskey dock. Just want to clarify that there will be a new sidewalk infant of Frankies to Jamies Whaling Station on the right side of the road?
54	292	the district should also invest in services that would bring people down there - e.g. live entertainment, markets, kids events, seasonal displays, etc.
55	295	I know there is the large parking lot behind the Crows Nest and while this works for the majority of people it does not work for all.
56	296	The development is a great investment into the community's future. Excited to see it come to life! But again- if we plan expanding and growing the waterfront/downtown area, we have to think of recycling & garbage solutions hand in hand. Additional public washrooms are probably just as important seeing as the public bathrooms downtown are so small and limiting.
57	302	The plan reduces parking options substantially. Placing the EV Charging Stations in the planned area limits parking options further. The EV stations should be placed somewhere like the parking area behind Crows Nest.
58	307	What is the reason for the removal of parking in front of the Crow's Nest? Summer parking is a problem. I cans no use in removing these parking places. Surely if the desire is landscaping that can be achieved without reducing parking there.
59	313	Public washrooms with info centre or signage.
60	314	We need to have our parking space
61	315	If there's any way to leave all the existing parking down in that area
62	317	I fully support this and the sooner the better, covid proved how important outdoor areas are. I feel making spots for electric cars is not important in the spot you mentioned, this should be for families or people with strollers etc I really feel the intersection by the coop/brewery should be added to plan to then link the village green to upper street It tends to rain in Ucluelet ! I would love to see some covered seating options if we get food Do more than less , this will be fantastic

63	328	Putting a bunch of bushes in front of the crows nest is going to hurt the business. This is a historical building and should not be messed with by putting trees in front of it. Leave the parking alone. This is a terrible idea to reduce the amount of parking downtown. The city planners have secure and safe jobs and have never had to Struggle and be creative to make a living. As a business owner you are risking everything. The city planners are risking nothing. Leave the parking alone.
64	329	I'd rather see a sidewalk on Larch as it's extremely dangerous with so many people speeding down it to the Coop or Barkley Plaza, than money spent on seating and grading of a lawn.
65	340	Removing parking spots Will not make people drive less, in fact it will create more congestion, can you explain me how old people are suppose to get around? Biking? Walking ? Give me a break, little green spots , this is insane. There's already an empty parking that was made in worst place ever! Up hill, how are you suppose to get people use it when it's a pain to access it, you guys are tryin To come up with delusional ideas. Most people who come visit and live here drive, it will never change
66	342	Where will parking be when the bare lots between the Crowsnest and Blackberry Cove are developed? It seems short sighted to eliminate parking when it is our most pressing problem. This area may have some issues but not to the scope of what is portrayed in the proposed redo. Some beautification would be welcome, i.e. remove the hydro poles. Perhaps when the fish plant leaves the foreshore a fancy community space could be added there.
67	343	Fully fenced in playground (or at least more than existing. In such a busy area, with the different businesses, the dock and municipal building it's currently super unsafe for our littles and can be extremely stressful playing there.
68	345	It's beautiful! Can't wait to revitalize the area. But parking!
69	348	Not sure how this project became a priority, but hopefully it is the beginning of more infrastructure improvements. Our roads are cracked, potholes, gravelly. They are awfully dangerous for riding a bike along. Pedestrian pathways in older neighborhoods, not just Rainforest.
70	350	Please do not take away any parking spots. This is a bad idea. There is a way to beautify with out losing parking spots. Ucluelet does not have favourable weather like so many other communities and walking in torrential down pours is not something people enjoy just to pay bills or grab a coffee.
71	351	Please do seriously consider the local input about the need for parking in the downtown core, especially as the number of visitors continues to grow and grow. Has any more consideration been given to making Main Street a one way street going down? This could allow space for beautification as well as maintaining needed parking spaces. I am not sure what all this revitalization will cost, but don't forget that Ucluelet really needs a museum!!!
72	358	I am sure many businesses will lament the loss of parking. I commend the DoU for the creation of parking behind the Crow's Nest and in time people will use this lot more. I think it would be beautiful to eliminate the parking in front of the municipal building on Fraser Lane across from the aquarium but

		I fear that this will create parking issues. The ideal solution for the loss of this parking would be for the DoU to purchase the empty lot between Ukee Dogs and Pioneer (Dear Santa:)
73	368	The improvements to the green itself & the playground will be a great improvement.
74	369	When the Whiskey Landing Building is fully occupied & the 2nd phase is built, parking pressures will only increase. Basing parking plans on the existing use is short-sighted. Don't remove any parking spots (and especially not the 1 accessible parking spot on Main St.) Adjust a few to be accessible (1 closer to the aquarium, 1 by the playground, and 1 at the vehicle charging spot) but don't remove any of the spaces on Main Street unless they can be placed somewhere else in the area.
75	370	Would street signage for business in the area be a possible addition to help tourists. Also not sure if it's mention but maybe also a cedar parking lol sign near the hair salon to help tourist find it.
76	372	There also is a real need for handicapped parking spots
77	373	Many businesses in this area are quick in/out transactions. Can parking be restricted to a time limit (and enforced)?
78	375	Public washrooms placed by children's playground . Electric car stations would be best located at Coop Do not reduce public parking Ucluelet will only be growing and becoming more popular as a destination. If you take spaces away in downtown core it should be replaced in another location close by. Better lighting Historic Art Pieces and signage Nice bike racks throughout town Covered sitting areas , gazebo, refill water stations ,
79	376	Did anyone even consider parking before passing this on? Considering the district gave the church such a hard time why would parking be a non-issue now? it's bizzare to me. You must be breaking municipal parking requirements/ law.
80	377	Water feature, Indoor outdoor multi level includes theater .
81	378	as above
82	384	Totally against the proposed improvements
83	385	Ensuring adequate sitting and picnic areas for groups and families to gather. Adequate water stations and bathrooms are also important.
84	389	Re: junction of Main and Fraser Lane and Cedar St. If a driver can only turn onto Cedar at this intersection then the ability to return to other Ucluelet locations is made more difficult. If instead one could turn onto Fraser Lane to Helen Road a driver has greater choice.
85	407	I think this area should remain a come and go area rather than a place to encourage people to spend time on the waterfront.
86	421	I don't like the idea at all and neither does my family
87	451	will this create more jobs when proposed improvements are completed
88	457	The plan looks fantastic. But the parking looks horrendous. It will force our already hurting small businesses to close.

89	460	Taking away the storefront parking of a business like The Crow's Nest in the planning of this village green seems like poor planning and unnecessary. An improvement would be an alternative plan.
90	463	parking lot for crows nest/other local businesses.
91	464	How about more handicap spaces and assessability. I go to the Crows nest alot for printing documents to getting office supplies, where else in town can do that for me? If you want more tourism than you need more parking, I'm sure people don't want to walk in the rain. Leave the parking spots alone!
92	465	What about the disability parking spots we need more. There is just not enough. CRAZY
93	479	Talk to the local businesses. Collaborate with them throughout the design process. It makes zero sense to be you vs them. More teammates just mean more possibilities if you are serious about updating this beautiful little town.
94	481	There are not enough public bathrooms downtown for the vast number of visitors
95	485	I think the deadline on this feedback survey should be extended. The district office is closed for the holidays and a lot of people aren't tuned in to town stuff now because of Christmas. Include this discussion in the OCP public hearing event on Jan. 20.
96	487	I'm wondering how long residents, business operators, and tourists of Ucluelet have had to consider the proposal in its detail. What options for input were given to ensure the various interests are provided for, have input, and are heard? Where is the accountability of elected representatives to these people?
97	501	I'm engaged with the changes the district is proposing and will continue to watch the progress.
98	505	Please keep our businesses accessible. Keep our parking. Spruce up the Village green but not at the expense of our shops. I use the bank, Liquor Store, The Crow's Nest , Blackberry Cove and go to several of the food outlets. How will I find a spot to park to get near these places. I have lived here for over 50 years. This is my town I would like to be able to continue to use these services. Keep the parking and let us interact with our services. This is not senior a friendly proposal.
99	506	During our busy /spring,summer and fall we often do not have enough parking esp. for those who are physical disabled . Thus, I am opposed to said proposal.
100	526	we need to keep parking for downtown business
101	535	My family has lived in Ucluelet for 110 years and when we go down to the village green or any of the stores nearby, we want to park at these businesses! You have wasted so much money on parking lots that no one uses, because people prefer the convenience of parking in front of the business they are visiting. Stop thinking of the tourists and start thinking of the locals. If you are going to do anything down main st. Have it a one way st. That goes down with angled parking on both sides!!!

102	537	We need affordable housing before landscaping. We won't have families to enjoy a new village green if something isn't done. Only the tourist will get to enjoy it for awhile anyway. Without affordable housing there won't be people to work in the restaurants and stores and hotels and tourism will drop off. A lot of people can't afford to buy houses here and it is hard to find apartments that haven't been turned into AB& . please reconsider this plan. And what happens to the businesses there?
103	542	Would like to have parking spaces downtown as it is age friendly and inclusive for those who cannot walk longer distances
104	544	Are these plans set in stone ? Will they-be modified to deal with concerns raised?
105	547	How can I get access to The Crow's Nest without a parking spot?
106	549	Don't do it. It will hurt local businesses and increase property taxes. No locals will use this space and we will have to pay for it. With covid conditions this is a ridiculous idea.
107	551	Don't do it. This makes no sense. It's COVID times. We have to think about locals and not about tourism. Property taxes will increase for something we won't use. Everyone is already struggling for cash.
108	554	I believe this is heavy handed and lacked community input
109	559	LEAVE the current parking spaces there! In the high tourist season, we locals often can't find a spot near the bank or nearby businesses or the aquarium, and it's very scary to think you would take spaces away! The village green is 'pretty enough' as it is. We need NO improvements in the looks of the area. We NEED on street parking! Please do NOT spend lots of money to take our parking away!!!!
110	561	This is so ridiculous again lets see the mayor walk to work i see him drive to work daily if this happens and he continues to drive to work when encouraging others to walk ! He should walk ridiculous he is being i seen his sad youtube about this just horrible
111	574	Hold strong against those wanting more parking
112	581	This area is a draw for tourists visiting the aquarium and shops and they *may* continue to visit those locations despite it being more difficult to access, however, it also is a key area with many shops that locals need to pop in and out of. It's already frustrating to do so in the summer months and these changes will make it more so. In addition, what is the need for this? I have not witnessed a deficiency in the existing green space and playground.
113	582	Why take away parking for crows nest store. Not fair for the business or for customers or people traveling to Ucluelet for tourism that cannot access this store
114	585	Did you even think about the elderly people who can't walk down a hill? How DISRESPECTFUL!!! This is total shame!
115	588	We haven't used the parking in the back of the Crows Nest, so we can't really say how that will work out. It would be nice if this could all be worked out amicably with the businesses.

116	592	Please keep the main street and Helen Rd. parking . Some people simply cannot walk very far or uphill. Also businesses need the access to parking.
117	598	Consider using that money to improve the safety of driving Pacific crescent
118	601	This proposal needs to be re-examined, especially with re-evaluation of the lack of parking. Instead of improving access it rather restricts it and makes it more difficult to access the area. Hope it goes to a referendum before any more of our tax dollars are spent on it.
119	635	Please do not remove any parking at all, but add some, if anything. From spring till fall it's challenging finding a place to park with the amount of spots we have now -- so many tourists. These are funds that could be much better used in creating a new building for the Food Bank.
120	637	DO NOT cut down those beautiful firs to waste money on a superfluous wheelchair ramp. DO NOT.
121	638	Why dont you focus on finding solutions for housing rather than making this town a walking path. Ps: how did Zoe's bakery just end up with a district paid picnic area... quit cutting out parking spots. Quit with all the walking paths. Its enough. There is noone left but airbnb hosts. There's noone to work in the businesses. Turn your attention to some real issues rather than having tourists walk around and take photos. They also need places to eat which requires actual residents to live here
122	641	More parking less green space Stop catering to tourists and look deeper into issues that are important to locals
123	645	There might be a problem with lack of parking for businesses by removing parking in front of the district office and Crowsnest.
124	647	Yes: The proposed Helen Rd crosswalk is not bldg code compliant due to excessive cross slope, making it dangerous for esp wheechair-users, and others with mobility impairments. Also, Crow's Nest is more than a tourist shop: it offers print, copy, fax and scan services to the community: I use it to print, copy, fax, scan vital tax and insurance dox pretty regularly. Therefore, parking spaces in front of Crow's Nest need to be preserved to accommodate locals who need these services.
125	648	As in its present state the parking is a mess. What would creating more congestion for local residents be an advantage when they are the ones who pay taxes and there are so many other areas this money could be spent. Roads and sidewalks need addressed. Entrance to our community does not represent us well, some beautification along peninsula road is long over due. I'm tired of not being able to park at coop, because parking is being used to access other businesses.
126	649	The District needs to stop allowing businesses to establish, expand, or a change-of-use if off-street parking is not available. Look at the mess we have in the plaza, co-op parking lot, and former Chamber space and on the street as a consequence of virtually no parking for the brew pub, restaurant, and tea place. Plaza businesses have their own parking that their customers cannot access because it is filled up with the aforementioned Peninsula road business customers.
127	654	Not at this time..I think I've covered it in my first comment

128	657	The business and business traffic consultant should be engaged before any changes are made to the area.
129	662	These plans are very light on actual detail and how it will affect local business or accomodate the elderly and the disabled. Did you consult with these groups? What research has been done to determine if this plan will be well utilized by locals and tourists? When the rainy season arrives how would this area be utilized? is it only for the odd day when it's sunny and warm? Is it worth killing off local businesses for a bit of grass and a few plants?
130	663	We don't want to take away parking and only create problems elsewhere in the town &/or residential side streets. Let's not turn into Tofino, please. Consider the long-term ripple effects, not simply cater to tourism growth, which should not be the end goal of this community.
131	664	Local businesses will suffer do to the proposed changes. Parking? We need more.
132	666	Make the Main Street a one way. You could have angle parking in both sides of the street. That way eliminating the parking stalls directly in front of the DOU building allowing green space to expand closer to the water front. The people who live here drive and the people who visit our town either come to us in their cars or rent a car. We need parking directly in front of the establishments we need to access.
133	672	Please keep our village green the way it is
134	673	Again, do the district employees with electric cars, or visitors pay for charging cars, or is this free? I don't think they need to be front and center at village green. Perhaps a few in the cedar road parking lot that goes unused except for the rv/van lifers. Do not take away parking from waterfront. Please upgrade park for the kids
135	674	This town has a lack of parking!It makes absolutely no sense to take more of it away.The parking behind the crows nest is awful and not used just like the other parking on cedar.The co-op parking is already used for too many other businesses and will become even more over run if people cannot find parking down town.Shops need parking in front of there places and so many in town do not have any or even adequate parking for their stores.let's fix that before taking parking away!
136	676	I don't believe that we should take out any parking spaces at all. Money was spent on more parking because it was indicated that it was needed, putting trees and other things in parking spaces seems a step backwards to me. I am not in favor of this. Leave it be , in my opinion, I would not be impressed by trying to look more like Tofino. Too many business would be impacted by this and , it looks inconvenient to me. It get's a fail from me.
137	680	Removing parking is not a good idea for local business people and green space is not needed here in the core of our town. Direct the tourists to our community center!
138	684	Don't be like tofino. Their parking is a joke, ours will be too if you remove current spaces.
139	685	Expanding the green space to remove parking infront of district office is enough to lose, we still require some parking in this area The movie crew

		we had in town was a good example of the need to still have parking available
140	686	The removal of any parking spaces in the downtown core is not warranted.
141	688	Future sidewalk along Helen road from Marine Dr and/or Pine road. Many families walk this route with kids to avoid a busy Peninsula rd, but cars are starting to take this route to avoid the speed bumps in front of the school
142	690	The sidewalk on the east side slopes down and crossing at our on the actual painted lines when wet is slippery. Most tourists don't use the other narrow crosswalk on the west side, preferring the roadway instead. Thus creating a great problem. I would like to see a loading zone, time limited in the area of the Liquor store and CIBC. What happens to the fish trucks leaving town? The Main Street hill is not a real option. Fraser Lane? Helen Road? Hum....
143	691	I see more restricted visibility for traffic. I also see nothing done with the peninsula road traffic problem first. . Helen road is a shit show all the time. Several bottle necks and no side walks. Fog line sidewalks are a problem to disaster. Hydro poles are a necessity but hide people at cross walks. Jesus I can't continue .
144	694	Meters and short term parking spaces (enforced by bylaw) might be the way to go here so that people do not park their vehicles here all day. No camping out... Turnover in parking is important for businesses and for allowing visitors a chance to experience the waterfront.
145	696	We should really reconsider this.
146	698	Increase green spaces, fewer parking spaces downtown, focus on Pen Road next
147	700	do not do this!
148	703	Same as my last comment
149	707	Do not revitalize our town. Who's idea is this. Certainly not local
150	709	Na
151	711	Clean up what we have by paving parking spots fixing and adding sidewalks Especially on Fraser Lane
152	718	It's a difficult area to access due its topography. Elderly people would find it much more difficult to access the area without ample parking. Maybe "elder parking spots"?
153	720	you need to consult the residents of Ucluelet more, and give this a lot of thought.
154	721	Eliminating parking spaces is a terrible idea. Summertime is especially bad. I've had to drop my wife off in front of the liquor store, and circle the block for 3 or 4 times to pick her up. How about placing time restrictions on parking? I think that businesses in and around the Village Green area should be encouraged ask their employees to use the parking lot on Cedar Rd. behind The Crow's Nest. This will free up at least 6 spaces that are taken up all day by people working in the area.

155	723	I feel this is nice in theory but terrible in reality. We would be better to change the intersection at the top of Main Street. Also need more signage directing cars to the Cedar parking lot.
156	730	Not at this time
157	731	Do not remove parking
158	738	Don't do it! Locals don't want or need it
159	741	. We need affordable housing and more parking. Not a bigger green space. It would be nice in the future but not now. Solve the major problems before the minor ones like what will attract Tourists. Help the locals first and foremost. Our stores and motels and restaurants are so short staff we are wearing out.
160	743	The survey time is unreasonably short. Helen Road between Main and Fraser Lane is already severely congested by both pedestrian and vehicle traffic. The most dangerous intersection in Ucluelet (Peninsula and Main) gets no mention. Reaching out to affected businesses should have begun in earnest months ago. The plan appears geared to the summer tourists rather than to the residents who call Ucluelet home. "Friendly Ucluelet," our old community slogan, describes our home as residents regard it.
161	748	Do not take away parking.
162	758	I believe you need to listen to the business owners before going forward with your proposal. At least rethink the parking issue
163	765	The historic building is important and should be allowed to continue as a store with parking. This is our history, out town, our center. Don't isolate it from public access. We do not need planters and shrubs. We need a vital business section and preserving our historic original business. No business can survive without public parking. This is a very unpopular idea. No one wants it to happen that lives here. In conversation around town most people are in disbelief that the district would do it
164	767	How do you plan to make this space accessible for all?
165	768	The area is quite green during the summer and people enjoy it as it is. Taking away a decent portion of the access to the area for a couple more bushes makes no sense to me, sorry. Why are you purposefully and willfully affecting you own community's established businesses?? I shake my head.
166	772	To those businesses that have 'purchased' parking spots as part of the business license process - are they getting a refund? Now is this going to be reserved parking only signs downtown for all those businesses? This is not very well thought out. I feel bad for existing businesses that are currently there that this impacts!!!
167	773	I think I explained my concerns in the last comment area. I will be surprised if the locals and businesses owners in the village green are anything but unhappy with this.
168	776	The new proposal is pretty to look at, but not realistic for an area of town that already has a parking problem. I have been living here 35 years and this parking problem is not new. It has been going on for at least 15 years.

		Jamie's Whaling Station has an overlap when their tour boats are coming in and new clients are waiting to go out. If you count the heads there are a great amount of parking spaces needed for the overlap. Every business should own enough parking to sustain their business.
169	778	Who are these pencil crayon pusher behind the desk? Everyone in town is shameing this project and no one on council is listening. It is so disrespectful of the people of our small town. It is shameful.
170	779	No
171	786	Like it... don't like the charging stations .. this should be placed by hotels, bnbs and other accommodations on their own properties. Limit parking and patrol 2hr max per vehicle for free. No need to charge
172	789	Concerned about the narrowing of the roads for larger vehicle traffic, semi trucks, bus, delivery ect. Already hard for them to turn. Also too much parking loss.
173	790	Green is good but not at the cost of local business. I can see businesses moving away from the downtown core. If that is what village looking for then move forward
174	791	While the green space increases in this plan, there's a marked decrease in parking for visitors and shoppers, whether tourists, mobility challenged, and casual visitors, especially in inclement weather, which is often enough. This lowers the availability and access to downtown amenities, such as shops, galleries, etc. except the new green, usable only in summer or good weather. The plan in its present form is unbalanced.
175	797	It would be nice to see more public washrooms
176	798	Why propose something from 2007 where there was hardly any tourists, where is now we need all the parking possible. It is hard enough to find parking already why take it all away?
177	799	What a waste of money. We need our water and housing issues fixed before more green space in a rainforest.
178	802	we need better planners, this is a ridiculous idea and no public input has been really aloud, during Christmas holidays is not good planning in my mind
179	803	Parking for business is what I thought a requirement by the district? If you need more space for farmers market why not the new space created for Zoey's and the adjacent area?
180	804	Areas 5, 7 and 10 make sense. Scrap the rest.
181	810	The village green is hardly ever used and would not be used more after this proposal. I don't know anyone who thinks this is a good idea. Most people are angry about it. You need to think about what our town needs now PARKING
182	811	People drive, stop the war on the car, unless I can buy drive a golf cart just like the ones used by your city workers and get around I don't mind, until then , this project is garbage. Think about old people, business owners, deliveries, just is a disaster.
183	818	Remove the municipal offices from the downtown area town area more appropriate to their function (e.g. municipal yards, recreation centre, old

		recreation centre, etc.). Use existing area for museum, seniors housing, medical, dental offices.
184	821	I like how the aquarium side will be connected. Keep adding safe sidewalks for families as this community is lacking this! Have a buffer from road and sidewalk so it's not so close to traffic. Our family uses this space multiple times in a week and it is nice to see improvements being made.
185	824	If you have money you need to use why not start by beautifying the sidewalks and making them safer. This would save the labor used every year having someone spray painting the areas that that need to be repaired and could be dangerous. To make more downtown parking available perhaps municipal office staff should park in the new parking area behind the Crow's Nest.
186	825	Better signage for the new parking lot behind Crows Nest would be helpful. Further development of the park across from the RCMP office would be a better option for "tourist green space" development.
187	827	I think that both your locals and tourists need to be considered when doing this proposal. Most tourists are in vehicles and need parking access but locals may also need parking if they are quickly stopping at a store.
188	828	Where would people park in bad weather???
189	829	Why put in electric vehicle charging spots if you are removing and limiting parking spaces? I feel removing traffic from the village green area will hurt local business's. Currently I don't see a big problem with the mix of vehicles, bicycles and walkers. Traffic moves slowly enough there is little chance of an accident. Also removing trees so that the harbor is more visible is crazy. If people need views of the ocean there are plenty of nicer views in the Park, Amphitrite Point etc.
190	831	Parking is already at a premium , don't take more spots away
191	836	Working on a historic water walkway, like there used to be along the waterfront would be a much better project.
192	837	While I like the improved looks particularly of the portion near Helen & Fraser that was formerly blocked off roadway it's hard to see the benefits for the cost particularly with such a large loss of parking. The existing green space is already infrequently utilized and throwing more money at it seems unlikely to change that particularly without more parking in proximity to it.
193	840	Please make sure renovation does not injure or kill the mature maple trees on the existing green. A small gazebo for a stage setup could be a great idea for events.
194	842	The history of our town is the downtown. The historic buildings and the long time stores that have been there should be respected and protected. As a long time citizen of Ucluelet, I have the right to traditional shopping and access to my historic places and venues. Don't kill out downtown. Honour it and protect it. We are so lucky to have the history still intact in our town. Remove the parking and you are removing the ability for businesses to succeed. Why would you want to do that to our town
195	843	My main concern is lack of parking and access to businesses, as well as accessibility to people who cannot walk distances.

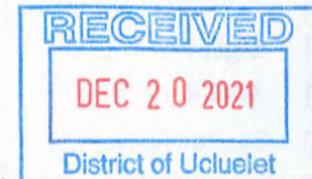
196	845	What s the estimated cost
197	846	I welcome the idea of improving the village green / district building area but this is a poor design and decreasing parking in an area of town that is already congested most times of the year is only going to hurt businesses that have a limited opportunity for revenue to begin with.
198	847	We are surrounded by nature. The real one, not a contrived planted and gentrified artificial landscape. This town still has all it's original character and authenticity. You can't create this - you either have it or you don't. We do. We want to keep it. This is the original commercial area of town and everyone I know wants to keep it that way and keep our historic buildings working and vital to our community. This is a huge mistake and a disastrous idea. Don't destroy our downtown. Keep it real.
199	848	Leave it alone
200	849	Waste of money. Lots of trees in the area already.
201	863	I think it would be better to create a great a situation where there was sidewalks that easily encouraged people to walk around and visit all if our downtown businesses, including our aquarium.
202	865	Some parking for vehicle access to the area could be provided from the large RV parking lot behind Main Street.
203	897	WE NEED PARKING TO SERVICE THE LOCAL BUSINESSES. OUR HISTORY IS ALL DOWNTOWN AND PLACES LIKE THE CROW'S NEST SHOULD HAVE PARKING. THIS IS A FAVOURITE STORE IN TOWN AS EVERY CHILD WHO HAS GROWN UP HERE CAN TELL YOU. TO LOSE TIS BUSINESS IS NOT SUPPORTING TOURISM. TAKING OUT PARKING IS NOT SUPPORTING TOURISM. WE NEED TO RESPECT OUT ROOTS IN FISHING AND LOGGING AND BE ABLE TO TELL THE WORLD WHO WE ARE. PEOPLE ARE INTERESTED
204	900	Please do not make these changes to our historic area. You say you have had focus groups and open houses but no one I know has ever heard about these or has had a chance to participate. We need more time to discuss these changes
205	901	We live in a rainforest we dont need fake shrubs we have loads of green this wont even be appealing to us as we will know it all fake !
206	905	I went to deliver a paper version of your survey Villiage green devitalization ?Your office is closed Jan 3 so I have come on line to say I'm not impressed with the brick wall

PUBLIC FEEDBACK FORM



Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

IN THE TOWN OF UCLURET WITH AN ABUNDANCE OF TREES & GREENERY, I FIND THIS A COMPLETE WASTE OF TIME & MONEY. THE NEED HERE IS MORE PARKING. YOU SHOULD LOOK AHEAD TO THE KIND OF COVID-19. WHEN THIS TOWN WILL EXPLODE WITH TOURISTS, IF YOU WANT MORE TREES & GREENERY PUT IT ALL ALONG. PENINSULA ROAD. P.S. BE WISE HERE.

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

SEEMS TO ME THIS IS A MAKE WORK PROJECT FOR SOMEBODY WITH TOO MUCH TIME ON THEIR HANDS.  TRY THINKING OUTSIDE THE BOX. MORE PARKING FOR THE FUTURE.

PUBLIC FEEDBACK FORM



Village Green Revitalization

PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects





FEEDBACK FORM

1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) None shit all of advertising
Why so secretive

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

Plus one of a worker of a business
may loose my job

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

We struggle for parking as is also elderly for bank
 also business Plus we have a little rainforest who wants
 Fake shit
 Stop trying be Tofino

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

We need our jobs I work downtown at a local
 store that will shut if this ~~store~~ never forward
 and our Elders struggle finding parking out front of
 Bank



PUBLIC FEEDBACK FORM



Village Green Revitalization

PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) social media also word of mouth.

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) Ahousat BC

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

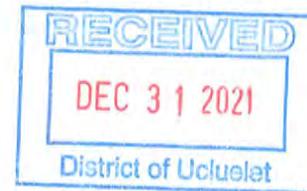
(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) I sell cedar weaving to numerous businesses also frequent the businesses, this is devastating - never mind overflow parking.

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

I would like to voice my opinion on the proposed Village Green Revitalization. Consulting with the community would be step one - a meeting to discuss issues & businesses that are affected. Let's keep Ucluellet the way it is. Beautiful, & the free parking stays.



5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

The proposal to change, needs more input from the community and how is this gonna affect local business. I demand to see you research your plans. So the public can read and argue their ideas. History shows to be correct. Let's keep Ucluellet the way it is. Please let's think over and see how this is gonna affect locals.

PUBLIC FEEDBACK FORM



Village Green Revitalization

PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) other locals that are pissed off and do not want this ~~proj~~ project

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) I work downtown

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

I think this not a very well planned idea. After talking with over 1000 people who live and frequent "Downtown area", the OVERWELMING consensus is that this is a Bad Idea. It is being said that it will be...

- A waste of tax money
- Destroy/Hurt every Downtown business
- create confusion + make life harder
- delay people from making quick stops (Bank, Crows Nest, shipwreck pizza, ect)
- Not what our town wants.

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

We want Parking Infront of the Crows Nest. It is a historic building and tons of people love ~~to~~ to shop and visit the store. To cut off the parking to the shop (Crows Nest) is a LOW BLOW. ~~It~~ Elderly, handicap, Mothers with strollers can Not walk up that hill. By doing this project, it is clearly not for the people.



PUBLIC FEEDBACK FORM



Village Green Revitalization

PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

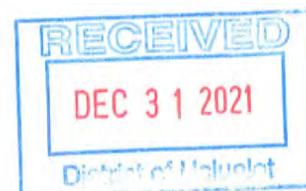
4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

you should drop this plan and think of some other way. Instead of taking peoples parking away in front off their store. I think if you do this people will not go to these store if they have to walk so far in the rain

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

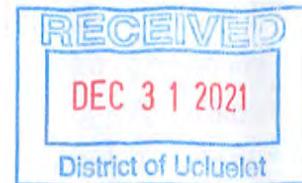
(For more space please attach a separate sheet)





Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

DO NOT REMOVE THE PARKING DOWNTOWN AS WE NEED IT NOW MORE THAN EVER BEFORE. TOURISM HAS INCREASED LATELY AND LOCALS ARE SHOPPING MORE IN TOWN DUE TO COVID. THIS PLAN MAKES NO SENSE. THIS IS NOT WHAT WE NEED WE NEED TO SUPPORT OUR BUSINESSES

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

THE VILLAGE GREEN IS HARDLY EVER USED. IT SHOULD NOT BE MADE BIGGER, THERE IS NO NEED FOR THIS, OUR TOWN NEEDS TOURISTS AND PARKING FOR THEM. LOCALS ALSO NEED PARKING ALL YEAR LONG TO VISIT DOWNTOWN
STOP THIS

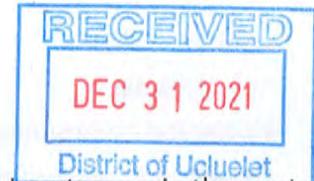


PUBLIC FEEDBACK FORM



Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

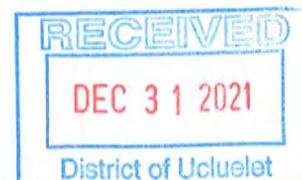
(For more space please attach a separate sheet)

We need to keep the parking spots in front of the 'Crows Nest'!

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

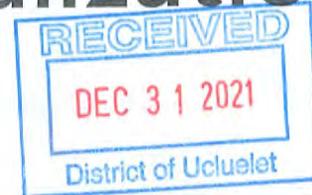
I don't see how those businesses within this space can survive without a nearby parking space.





PUBLIC FEEDBACK FORM

Village Green Revitalization



PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) I work in business on a street adjacent to the
village green

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

I find it is a great waste of money. If you want to improve the green space ~~and~~ please do put a wider variety of plants ^{on existing} ~~instead~~ ^{part of} of more grass in original parking spaces. ^{of land}

~~Also~~ You are hurting business where i work therefore plucking me & my 600 workers jobs.

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

~~If you want to~~ I get dropped off at work regularly and people often park in front of the store. Please take into consideration people with disabilities.



PUBLIC FEEDBACK FORM



Village Green Revitalization

PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

I'm concerned about the amount of parking spaces that you want to take out! I have a hard enough time finding a space to park as it is. My brother who is handicapped and cannot walk from the nice big parking lot that's behind Crow's Nest. I think it's a bad plan.

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

I don't see how this will benefit anyone. Especially the Crow's Nest as there will be NO parking in front of the store. Bad Idea!



PUBLIC FEEDBACK FORM



Village Green Revitalization

PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) CROW'S NEST STATIONERY

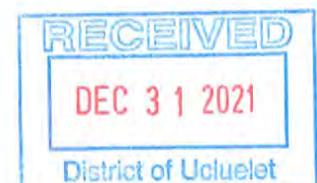
2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) I HAVE TROUBLE WALKING ANY DISTANCE, SO TO PATROIZE THE LOCAL BUSINESSES IN THE DOWN TOWN CORE I NEED PARKING CLOSE AT HAND.



4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

AS A LOCAL PERSON I HAVE ENOUGH TROUBLE FINDING PARKING AS IT CURRENTLY EXISTS. WITH THE DESIRED INCREASE IN TOURISM WE NEED MORE PARKING NOT LESS

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

LOOKING AT THE DIAGRAMS OF THE PROPOSALS IT APPEARS SOME BUSINESSES ARE BEING UNFAIRLY TARGETED WITH LOSS OF PARKING.

PUBLIC FEEDBACK FORM



Village Green Revitalization

PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) CROW'S NEST STATIONERY

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) I DO BUSINESS IN THE DOWNTOWN WHERE I NEED PARKING CLOSE BY WHICH IS HARD TO FIND DURING TOURIST SEASON



4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

WE MUST REMEMBER THAT THERE ARE COMMERCIAL BUSINESSES THAT NEED TWO WAY ACCESS TO AND FROM. THERE ARE FISHCAMPS, WARFS WITH FISH BOATS AND TOUR GUIDES, BOAT BUILDING AND REPAIR FACILITIES, RESTAURANTS, STATIONARY STORE, BANK, LICQUOR STORE, SECOND HAND STORES, BOUTIQUES ALL NEEDING PARKING FOR THEIR CUSTOMERS

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

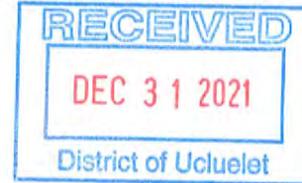
(For more space please attach a separate sheet)

THE HEAVILY LOADED COMMERCIAL VEHICLES NEED A LOW ADVERSE ENTRANCE AND EXIT FROM THE DOWNTOWN CORE. THE ONLY WAY TO AND FROM IS THE WIDE ACCESS ALONG THE WATERFRONT PAST THE EXISTING VILLAGE GREEN. WE NEED MORE PARKING IN THE DOWNTOWN CORE NOT LESS FOR BOTH COMMERCIAL USE AND FOR THE INCREASING TOURISM.

PUBLIC FEEDBACK FORM



Village Green Revitalization



PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ? ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet. *Who has had input into this plan??*
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) Fewer visits due to COVID.

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

In my opinion, this proposed plan does not enhance the village green space. If anything, it detracts from the charm and unique appearance and feel of this historic space. Rather than having the feel of an authentic west coast village, it will be just another non-descript cookie-cutter area with a "wanna-be" bigger town feel. This is not what longtime local residents want. I doubt it's what tourists want. As a senior citizen I want to be able to park near to shopping and businesses. It is already difficult in the busy season to find a parking space. We do not need fewer parking spaces!

Where did this idea come from?

What "public input" has identified this as a priority for Ucluelet?

When the village green is needed for an event, it is not a problem to temporarily block off the area.

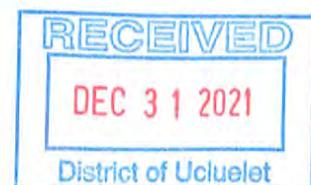
There needs to be serious discussion about this proposal.

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

I do not see this plan as revitalization or as beautification. I refer to the plantings along Marine Drive after the paved trail extension was completed. The plantings are an eyesore. The village does not take appropriate care of the space. Weeds grow rampant unless property owners put time into gardening the village property. Horsetails and various weeds look terrible in the rock/gravel sections. Dogs dig and spread the mulch onto the sidewalk. Dog feces is a problem to pick up. What makes you think the village green plantings in the new proposal will be more responsibly cared for? Think again and be honest!

Barbara Forrest
372 Marine Drive





Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

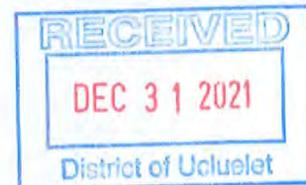
4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

I feel that this proposal does nothing to enhance our village. Reducing parking so drastically will have a detrimental effect on the businesses located in the core.

This will negatively affect the fish plant. The transport trucks will not have a way out. They cannot go out Bay Street because the hill is too steep and in summer with all the traffic they could not safely make the turn to head out of town if they did go that way.

Whose idea was this project? The citizens have not been consulted in any meaningful way.



5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

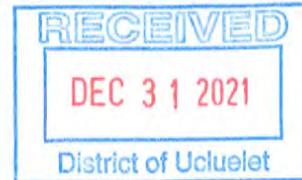
(For more space please attach a separate sheet)

Pedestrians are not going to walk up and down Main Street hill. The weather is too inclement in the fall and winter. Just remember November. People want to be able to park near the businesses. This is a poorly thought out plan. If you have grant money to spend it could be spent elsewhere for a better effect. Just look at the poor ^{maintenance} ~~maintenance~~ of the paved path along Marine Drive. You see where monies spent are not being well looked after.

PUBLIC FEEDBACK FORM



Village Green Revitalization



PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

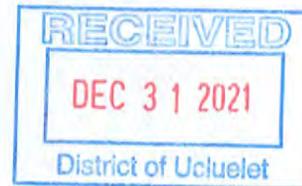
(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

I am an Entertainer Born and Raised in New Brunswick, who has travelled this entire Country for over Twenty consecutive years and Honestly say that this town is in the middle of some of the most "Green" space that I have ever seen. There is absolutely no need, what-so-ever, to add some Bushes to the center of a Town which centers a Rain Forest such as this. This is almost useless as far as I can see, It seems as nothing short of completely Suspect. Why on Earth would you take parking spaces away from any business? Obviously it would hinder business and nothing else.



5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

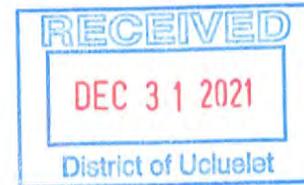
(For more space please attach a separate sheet)

I have lived in some of this Countries most Popular Tourist Towns and can say with the upmost experience that taking parking spaces away does nothing but destroy the ~~the~~ attendance of Customers on the regular, year round. How could it not?



Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

When tourist friends come to town we head to The Crow's Nest as our first stop. A car load of us then checks out the rest of downtown. We live 400 feet away so walk there and often have a senior or two with us.

We count on our local businesses like The Crow's Nest for essential services and items



5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

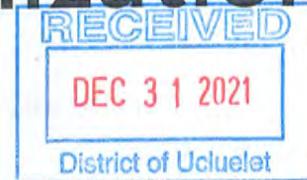
(For more space please attach a separate sheet)

The history of Ucluelet is tied to this part of town. Don't cut off business to us. We need access to shop and eat and bank. More parking is needed. Taking parking away does not make sense. Keep our businesses available.



PUBLIC FEEDBACK FORM

Village Green Revitalization



PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

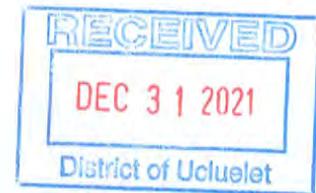
(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

Removing so much parking, it will make it difficult going to the bank, liquor store, Crows Nest and restaurants. We need more parking not less parking places.



5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

I would not be able to walk too downtown as I am a senior. This part of town is historically important to me and the whole community. Do not take out our access to ~~parking~~ parking etc.

PUBLIC FEEDBACK FORM



Village Green Revitalization



PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

I feel that the removal of parking in the suggested area will make it more difficult for locals & tourists to find a parking spot. I at time shoulder season take 5 to 10 minutes just to find a close enough parking spot.

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

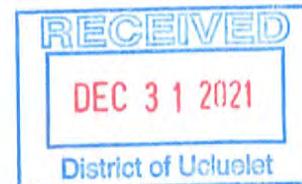
I am curious as to the reason for this development.





Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement *(Did not receive one)*
- District website
- Word of mouth
- Other (please specify) *Other concerned res.*

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

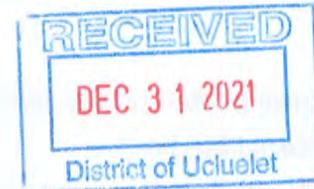
5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)



Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) I SHOP LOCALLY IN AREA
OF YOUR PROPOSAL

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

Very concerned with the ridiculousness
of this proposal
ie: loss of parking spots - come on really?!

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

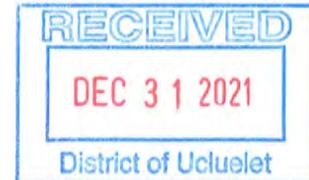
You definately need to go back to
the drawing board.....





Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) shop locally in the area
and especially at The Crow Nest

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

Please just leave well enough alone
this area works

Why change something that has
worked for this long.

Concerned: on the person who thought this
proposal up and wasted money and
time!!!

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

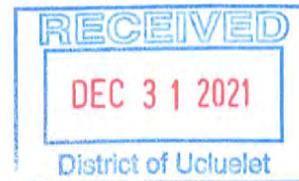
PLEASE LEAVE this AREA AS IS
NOT ENOUGH PARKING AVAILABLE AS
IT IS





Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) Long beach _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

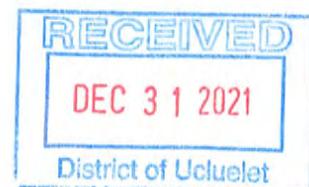
(For more space please attach a separate sheet)

Not enough parking
Too much Green (Bush's, Tree's)

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

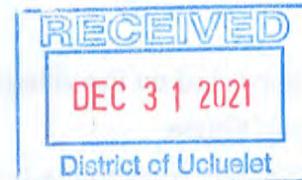
Stop trying make Ucluelet look like a city
We aren't a city leave it a small town





Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

This proposed design does not make sense at all, NOT IN THIS CENTURY
Back to drawing board is highly recommended

We need these parking spots, this community and tourism has grown far more than ever anticipated,

ie: less parking stalls is not the answer

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

This is definitely not an improvement
Its a BACKWARDS move

Back to the Drawing Board!

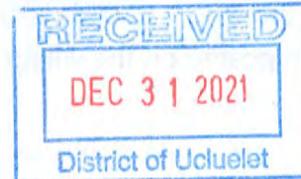


PUBLIC FEEDBACK FORM



Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify)

I heard about this very late in the day! Dec the news hit the int'l class at the U.C.C.

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify)

right above said area. I live in the historical Area of Ucluelet. My home was built in 1929

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

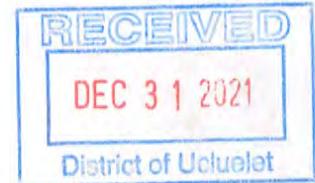
- I live on a street adjacent to the village green
- I own or operate a business on a street (adjacent to the village green) *Peninsula Rd.*
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify)

I live uptown. I have a hair salon since 1991 on Peninsula Road. I also fish commercially on a salmon trawler in the summer.

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

The quotation of "The expansion of the Village Green being a priority for residents of Ucluelet is totally untrue. People, the road, tourists, lack of parking is a priority. Sidewalks! docks for commercial fish boats. Housing.



5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

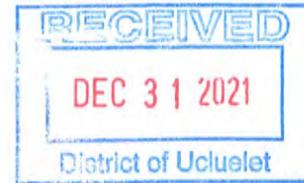
I have lived in Ucluelet since 1979. What I have seen as far as change goes is totally lacking in "what is good for the residents here". Not what is good for tourists & tourism.

Ucluelet keeps inviting the world to come here. The old time residents would appreciate consideration first. NOT Tourism



Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

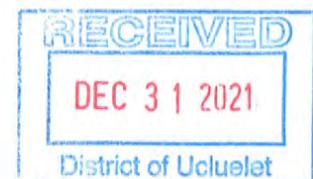
We need every parking space we have,
and more, not less.

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

Cover the ditches around the Village
green; to create more parking spaces.

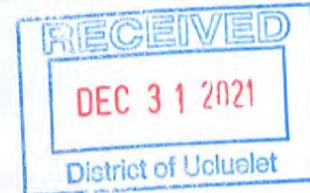
Alex Cugini
250 726-4627





PUBLIC FEEDBACK FORM

Village Green Revitalization



PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

Down town Ucluelet needs all the current parking spaces and the some, so I don't think removing parking spaces is a good idea. Quite frankly removing them will create more congestion - people tourists - will have to stop in traffic to get a look at the waterfront - they do now!

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

The re-routing of fish trucks also presents a number of significant problems. The Eagles Nest & spring, summer fall congestion, the narrow and dangerous road between Eagles Nest and Boat Basin, and congestion ~~is~~ at the Boat Basin.



4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

See Attached

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

See Attached.



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) Concern for best use

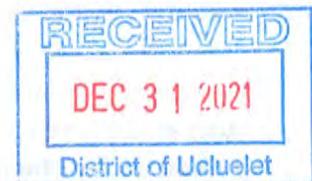


Note from the onset, that my comments regarding the Village Green Revitalization project stem from concern rather than unsubstantiated criticism.

My general impression is that the project specifics and focus have the potential to result in unforeseen and perhaps unfortunate consequences on a larger scale. Specifically, displaced and or limited parking capacity, impeded or restricted traffic flow, and pedestrian safety issues. Design that results in inconvenience or obstruction cannot be imposed on the public.

To my point, let's list the 20 + businesses considered within and adjacent to the Green.

CIBC
 BCLC
 Tourism Ucluelet
 Shipwreck Pizza
 Commune Hair,
 Zoe's Bakery,
 six residences atop the building,
 YaYu café
 Ukee Dog
 Frankies
 The Wellness Collective
 Ukee Bikes
 Ukee Bikes
 Gypsy Drifter
 Mental Health Office
 Secondhand Shop
 West Coast Central Forest Society
 Foggy Bean
 Massage Therapy
 Blackberry Cove
 Secondhand Cargo
 Crow's Nest
 Aquarium
 The Den
 Tatoo shop
 Whiskey Dock – servicing both commercial and sport fishing and tour companies
 Jamies
 Pioneer Boatworks and sportfishing store.



In addition, three more commercial spaces are being developed in the lodge building on the Helen Rd. side. There is also a vacant space in the Whiskey Landing building.

This renders the Village Green area a high use, frequent use, high user turnover hub. It is not an open area where people necessarily languish out of doors. Ucluelet's prevailing weather, cool northwest winds and the north facing aspect of the green often preclude outdoor activities.

That being said, the green is utilized for events such as markets, Ukee Day's celebration and marathon finish. All of which, weather permitting, demand parking.

Serving as a hub for the aforementioned businesses, residences and activities, any plan should serve to accommodate traffic flow, increased parking demand and the resultant customer, employee and business pedestrian base.

The proposed plan ignores the access requirements for the many and diverse service trucks further impeding their ease and therefore safe movement. For example, the green buffers indicated on the corner of Helen and Main streets further narrow and already tight corner that even now requires transport trucks to swing into the oncoming lane. The number of food outlets alone require frequent and daily deliveries.

By and large visitors to Ucluelet drive here. People from surrounding reserves drive here. Ucluelet's prevailing weather and geography discourage locals who may have the time, from walking or biking and therefore drive to the hub. Satellite parking is marginal approach. These areas inconvenience visitors with small children, mobility challenged and locals who have busy schedules. Further reducing parking will not enhance use of the Village Green. The green space located in front of the Crow's nest makes little sense. Fish plant trucks diverted to Bay and Peninsula makes little sense. This corner is again tight to negotiate and will remain hazardous until alternative plans are implemented.

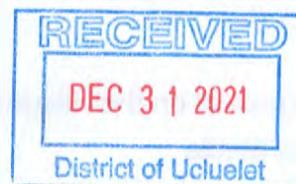
There are bigger questions concerning this plan. To reiterate, you can't impose use patterns that are inconvenient and uncomfortable for people. This plan does not address the reality of the 'hub' and the needs of its businesses and users. Furthermore, it makes no sense for the village office to occupy the most prime piece of real estate in town. Sale of these premises would allow for the construction of a replacement annex at the community center location.

It would be advantages to explore the concept of a covered-partially open public market facility such as the one you would see in Bellingham. Such a facility precludes weather dependency and indeed serves the needs of a hub, suitable green space, suitable creature comfort, suitable parking and a well-planned transportation design for services vehicles.



Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

I am very unhappy with this proposal, "SHOCKED"
 We need these parking spots so we can do our daily/weekly rounds in this area ... I don't have time to drive find parking then walk to do my errands
 My time is my time
 Please Please Please RE-THINK THIS PROPOSAL

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

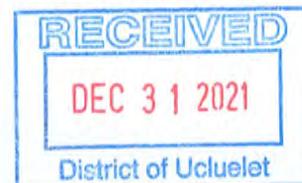
There's not enough parking already with the growth of our community and tourism.
 ps: Does this have to do with these two ridiculous parking areas that are hidden from the tourists, and this way one is forced to use them? Thank-you for Listening



PUBLIC FEEDBACK FORM



Village Green Revitalization



PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____



4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

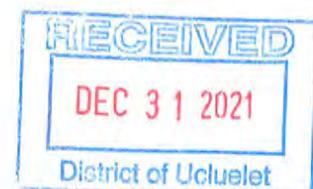
(For more space please attach a separate sheet)

I AM OPPOSED TO UCHUENT TOWN COUNCIL
REMOVING VEHICLE PARKING ON MAIN STREET, AND
MAKING ACCESS TO MAIN STREET BUSINESSES
MORE DIFFICULT. EASY ACCESS TO LOCAL
BUSINESSES SHOULD BE A PRIORITY, NOT A
HASSLE

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

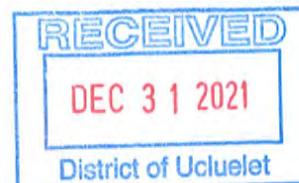
THIS IS A BAD PROPOSAL FOR
EXISTING BUSINESSES, AND IS NOT AN
IMPROVEMENT.





Village Green Revitalization

PROJECT INTRODUCTION



- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) _____

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

Very unhappy with taking away spots for parking, I do not want to walk around, I live here, I want to get my parking spot do my errands and go home

Has this planner lived in Ukee long enough to understand the area, maybe on paper it looks amazing ... but REALITY ... its a BIG "NO"

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

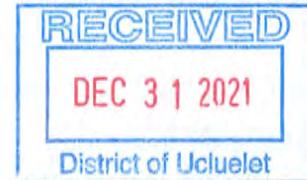
You need to re-think this crazy proposed Village Green design
 No parking stall for GREEN ... Really!!!
 Crows Nest NEEDS their parking stalls as do the rest of the town town core





PUBLIC FEEDBACK FORM

Village Green Revitalization



PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) Ontario

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

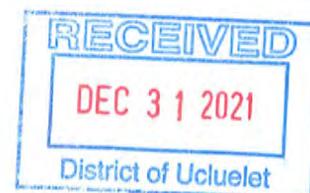
(For more space please attach a separate sheet)

There is enough greenery to go around in this gorgeous island. Local business need the space for visitors + shoppers. Taking that \$ to better the space in ways to make the accessibility better would be much more affective.

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

(For more space please attach a separate sheet)

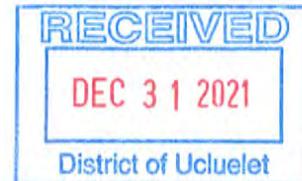
More parking, more accessibility would be ideal.



PUBLIC FEEDBACK FORM



Village Green Revitalization



PROJECT INTRODUCTION

- ▶ The village green is the heart of the community and is Ucluelet's only prominent space in the centre of town.
- ▶ Recent public input has identified the expansion and revitalization of the Village Green as a priority for residents of Ucluelet.
- ▶ The proposed design enhances the existing village green and adjacent streetscapes, providing a flexible and accessible public open space that can accommodate a multitude of uses.
- ▶ Please take the opportunity to review the design materials and complete the feedback form.
- ▶ Your feedback will inform our next steps - detailed design, tender, and construction.

Please drop off your form at the Municipal Hall drop box no later than:

Friday, December 31st, 2021.

Your input will help us identify potential improvements that should be considered before the design is finalized. We look forward to hearing from you!

Would you rather complete the questionnaire online? Visit the link below:

www.ucluelet.ca/community/planning-building-bylaw/public-realm-projects



FEEDBACK FORM



1. How did you hear about this engagement opportunity?

(Choose all that apply)

- Sign posted on the village green
- Social Media
- Poster (on community bulletin, in Co-op, etc.)
- UkeeMail announcement
- District website
- Word of mouth
- Other (please specify) _____

2. Where do you live?

- District of Ucluelet
- In another part of Alberni-Clayoquot Regional District
- Other (please specify) Creston, Vancouver

3. What statement(s) describes your relationship to the village green in downtown Ucluelet?

(Choose all that apply)

- I live on a street adjacent to the village green
- I own or operate a business on a street adjacent to the village green
- I frequently spend time in downtown Ucluelet
- I occasionally visit downtown Ucluelet
- Other (please specify) _____

4. Please review the proposed village green design. After reviewing, do you have comments, concerns, or suggested improvements for this space and the surrounding streetscape?

(For more space please attach a separate sheet)

This entire plan is absolutely ridiculous; a complete lack of consulting with business owners around, a complete lack of concern for disabled people for the sole purpose of beautifying a single bloody area. In my opinion, scrap the whole thing, and consult with others before going ahead with something like this.

5. Do you have additional comments or questions about the proposed village green improvements that you would like to share at this time?

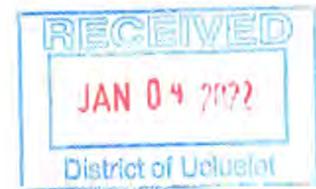
(For more space please attach a separate sheet)

Additional comments? Sure - this is a small, tight-knit community where you would think the people's opinions would actually matter. I hope that's true.



Admin Support

From: jane.hutchins@shaw.ca
Sent: January 1, 2022 7:53 AM
To: Info Ucluelet
Subject: Plans for Ucluelet downtown



[External]

I have read about Ucluelet's plan to beautify its downtown area, making it pedestrian friendly. In theory, this is a splendid idea. However, May I give you a heads up. Victoria, where I live, has been working on the same principal. Get rid of the cars, get people out on bikes and their feet.

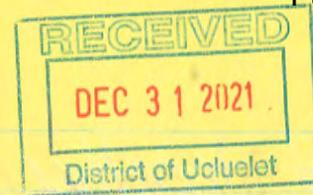
I live a 20 minute drive from downtown Victoria, and downtown used to be an attractive destination. Not any more. I go there only if I absolutely have to. When I ask my neighbours if they go downtown, the answer is no. Last time I went it took me an additional half hour to find a parking place.

Please carefully think about what you are proposing and whether or not part of the plan is empty storefronts in that area.

Jane Hutchins.
Victoria.

Sent from my iPhone

Mayor & Counsel



Are we turning into Jofino ?? So help anyone if you have a Dentist Appointment or Lab work @ the Hospital you have to leave @ least 1/2 an hour before so you can find parking, is that where we are heading ??

Why is the Dist. addressing Green Space when they should be addressing the lack of parking for our ever growing tourist population.

We have Green Space "Wild Pacific Trail, Little Beach, Big Beach, He-In-Kis Park, Amphitrite Light House etc". Taking away parking is going to hurt the our Older population /OUR ELDERS, people with mobility issues, the small businesses in the area, our sence of Community (when we all

can get together when it becomes safe to do so again).

Shouldn't the Dist. be addressing our sidewalks & the potholes on our streets i.e. outside of Harbourview Rx. What about upgrading & maintaining the green spaces that exist & better signage for the park that's out there (Cedar St. / It's a parking lot NOT A YOGA LOT).

So in your grand scream of things, where should people park?? The Coop, Davison Plaza, residents driveways, double parking?? Pacific Crest is a nightmare.

Who are the people who came up with this idea, names please...

Appendix D

**STAFF REPORT TO COUNCIL**

Council Meeting: November 23, 2021
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING

FILE NO: 1290-03 VILLAGE GREEN

SUBJECT: PROJECT UPDATE – VILLAGE GREEN CONCEPT DESIGN

REPORT NO: 21-170

ATTACHMENT: APPENDIX A – VILLAGE GREEN CONCEPT PLAN AND PUBLIC FEEDBACK MATERIALS

RECOMMENDATIONS:

This report is for information.

PURPOSE:

The purpose of this report is to provide a project update to Council on the Village Green Revitalization project, and highlight engagement materials that will be available for public feedback until the end of the year.

BACKGROUND:

The Village Green is located at the heart of the community and is Ucluelet's only prominent public space in the centre of town. Fronting the District's office, this small greenspace is currently disconnected from the nearby ocean inlet by an excess of roadway and parking. Adjacent to the greenspace is a popular playground that is too small for the use it receives and in close proximity to Fraser Lane.

In spite of its challenges, there are diverse activities and functions taking place at Village Green that are supported by the adjacent restaurants, businesses, the Ucluelet Aquarium, and Public Dock. Driven by public input, the expansion and revitalization of the Village Green has become a priority for the District of Ucluelet. Village Green beautification and amenity improvements are identified in the District's 2019 to 2022 strategic plan and the Official Community Plan. The District hosted a public open house on December 11, 2019, to showcase and seek input on the preliminary analysis and design ideas.

This and previous engagement activities have shaped the District's vision for the Village Green. The vision includes:

- A prominent pedestrian-oriented community space without vehicles.
- Connections to the ocean through views and universal access.
- Improved connections to existing businesses.
- A safe and unique new playground for locals and visitors.
- Space and amenities to support festivals, events, and the farmers' market.
- Diverse sitting, viewing, and eating places.
- A welcoming and safe outdoor space where visitors can observe the activities of the local marine industries such as fishing vessel unloading.

The planned improvements are intended to embrace and build on Ucluelet's distinct identity and character through the design approach, furnishings, and materials.

This March the District was successful in obtaining a Tourism Dependent Community Fund grant for \$700,000 toward the total project cost of \$1,100,000. In June the District issued a Request for Proposals from qualified consulting teams. Seven proposals were submitted; in August, Council endorsed award of the contract to the Lanarc / Herold team. The design phase commenced in September.

The design team has completed a site analysis including meetings with staff and key stakeholders; after comments were provided on several iterations, the input resulted in the attached concept design which will form the basis of detailed design development and construction documents. Assessment of the design against the project budget has taken place at each step.

Project materials along with a public feedback form are posted on the District's website and can be viewed at the following link:

<https://ucluelet.ca/community/planning-building-bylaw/public-realm-projects>

Public feedback is being sought, and will inform the development of the design details as the project moves forward. Materials will be available for public viewing on the District website, at the Municipal Office and in the Ucluelet Community Centre.

Next Steps:

Pieter van Remoortere, Landscape Architect with Lanarc Consultants and project lead, will attend the Council meeting to provide an overview of the design highlights.

Now that the concept design has solidified, Staff will also reach out to adjacent property owners and businesses to explain the project, seek input and discuss the project schedule. Construction in this area will be avoided in the busiest summer months.

A further project update will be provided to Council in the new year, as the design development phase progresses along with the public feedback received.

Respectfully submitted: Bruce Greig, Director of Community Planning
 Duane Lawrence, Chief Administrative Officer



February 3rd, 2022

Via Email: info@ucluelet.ca

Mayor and Council
District Municipality of Ucluelet
PO BOX 999
200 Main Street
Ucluelet, BC V0R 3A0

To Mayor and Council,

Epilepsy is one of the most common neurological conditions, however, it has the least recognition in society. The BC Epilepsy Society is a provincially incorporated non-profit organization and a federally registered charitable organization that serves the over 50,000 people living with epilepsy in BC and their families, friends and loved ones and works to raise awareness of epilepsy in the communities in which we live.

We are excited to let you know that International PURPLE DAY® for Epilepsy Awareness is coming up and will take place on March 26th, 2022. International PURPLE DAY® for Epilepsy Awareness is a time when people in countries around the world take part in events and activities to raise much-needed awareness of epilepsy.

We would like to request a Proclamation from Mayor and Council designating March 26th, 2022, as International PURPLE DAY® for Epilepsy Awareness in the District Municipality of Ucluelet. Included with this letter is a document outlining our draft Proclamation.

Through your participation in International PURPLE DAY® for Epilepsy Awareness on March 26th, 2022, you will not only be able to show people living with epilepsy that they are not alone but will also get people talking about epilepsy in an effort to raise awareness of epilepsy in the community.

We look forward to working with you on International PURPLE DAY® for Epilepsy Awareness on March 26th, 2022, and in the future. Please feel free to contact me via email at deirdre@bcepilepsy.com or via telephone at 1-788-533-0790 should you have any questions or require any additional information.

Sincerely,

Deirdre Syms
Interim Executive Director
BC Epilepsy Society



2022 Proclamation Draft

"Purple Day"

WHEREAS Purple Day is celebrated on March 26 annually, during Epilepsy Awareness Month, to increase the knowledge and understanding of epilepsy that will improve the quality of life of British Columbians living with epilepsy:

AND WHEREAS Purple Day was founded in 2008 by Cassidy Megan, a nine-year-old girl from Nova Scotia, who wanted people living with epilepsy that they were not alone;

AND WHEREAS People in communities around the world are encouraged to wear purple and host events in support of epilepsy awareness on Purple Day;

AND WHEREAS There are over 50,000 people in British Columbia, over 380,000 people in Canada and over 65 million people worldwide living with epilepsy;

AND WHEREAS The onset of epilepsy can occur at any age and stage of life and does not discriminate against age, gender, race, ethnicity, religion, socioeconomic status, geographic location, or sexual orientation;

AND WHEREAS Purple Day is a health promotion effort that encourages people to raise awareness of epilepsy so that we can create a society that embraces the beauty of difference and understand how we can all come together to make the world a better place:

NOW THEREFORE I [Insert Name and Title] DO HEREBY PROCLAIM Saturday March 26th, 2022 as

"PURPLE DAY"

in the District Municipality of Ucluelet.

OFFICE OF THE MAYOR



January 28, 2022

File No. 0400-60

Dear UBCM Member Municipalities,

I am reaching out to local governments in British Columbia to urge your support for Private Members Bill C-216, Health-Based Approach to the Substance Use Act, which has received first reading in the House of Commons.

The proposed Act would amend the Controlled Drugs and Substances Act and enact the Expungement of Certain Drug-related Convictions Act and the National Strategy on Substance Use Act. Under Bill C-216, the National Strategy proposes to:

- (a) address the harm associated with the criminalization of substance use;
- (b) ensure that interventions are founded on evidence-based best practices and address the root causes of problematic substance use;
- (c) ensure low-barrier access to a safe supply of medically regulated substances;
- (d) provide universal access to recovery, treatment and harm reduction services for problematic substance use and substance use disorder, including overdose prevention services, relapse prevention services and supervised consumption sites and services;
- (e) implement evidence-based prevention programs that address social and economic factors that contribute to problematic substance use; and
- (f) reduce the stigma associated with substance use, including through outreach and public awareness programs.

Cumberland Council has expressed its support for Bill C-216 to Prime Minister Trudeau and to the Minister of Health and Addictions Carolyn Bennett and I would encourage your Council or Board to do the same in an effort to finally secure Federal aid on decriminalization, safe supply and access to recovery, treatment and harm reduction services.

Yours sincerely,

Leslie Baird
Mayor

OFFICE OF THE MAYOR



January 28, 2022

File No. 0400-40

The Honourable Carolyn Bennett, P.C., M.P.
Minister of Health and Addictions
Carolyn.Bennett@parl.gc.ca

Dear Minister,

I am very pleased to be able to write to you in support of the Private Members Bill C-216, Health-based Approach to the Substance Use Act, which received first reading on December 15, 2021 and which is sponsored by Gord Johns, Member of Parliament for Courtenay-Alberni.

The Council of the Village of Cumberland endorses the National Strategy to address the harm associated with the criminalization of substance use and to ensure that interventions are founded on evidence-based best practices to address the root causes of problematic substance use.

In 2016, harm reduction was restored as a key pillar of Canada's drug strategy with the establishment of the Canadian Drug and Substances Strategy, however further measures are needed to protect the lives of Canadians. I trust that you will support Bill C-216 in order to provide federal aid on decriminalization, safe supply and access to recovery, treatment and harm reductions services.

Yours sincerely,

A handwritten signature in black ink, appearing to read "L Baird".

Leslie Baird
Mayor

OFFICE OF THE MAYOR



January 28, 2022

File No. 0400-40

The Right Honourable Justin Trudeau, P.C., M.P.
Prime Minister of Canada
Justin.Trudeau@parl.gc.ca

Dear Prime Minister,

I am very pleased to be able to write to you in support of the Private Members Bill C-216, Health-based Approach to the Substance Use Act, which received first reading on December 15, 2021 and which is sponsored by Gord Johns, Member of Parliament for Courtenay-Alberni.

The Council of the Village of Cumberland endorses the National Strategy to address the harm associated with the criminalization of substance use and to ensure that interventions are founded on evidence-based best practices to address the root causes of problematic substance use.

In 2016, harm reduction was restored as a key pillar of Canada's drug strategy with the establishment of the Canadian Drug and Substances Strategy, however further measures are needed to protect the lives of Canadians. I trust that you will support Bill C-216 in order to provide federal aid on decriminalization, safe supply and access to recovery, treatment and harm reductions services.

Yours sincerely,

A handwritten signature in cursive script, appearing to read "L Baird".

Leslie Baird
Mayor

THE CITY OF VICTORIA



OFFICE OF THE MAYOR

February 2, 2022

To whom it may concern,

I am writing on behalf of Victoria City Council, requesting favourable consideration and resolutions of support for the current legal challenge against the discrimination of freedom of religion in Quebec's Bill 21 - An Act respecting the laicity of the State.

In July 2019, Victoria joined Brampton, Ontario in condemning Quebec's ban of religious symbols at work, and many Canadian municipalities to support the National Council of Canadian Muslims (NCCM), the World Sikh Organization of Canada (WSO) and the Canadian Civil Liberties Association (CCLA) in their legal challenge against Bill 21 in Quebec.

Since then, cities across Canada have been demonstrating leadership with the cities of Brampton and Toronto each pledging \$100,000 to support the legal challenges brought forward by the NCCM, WSO, and CCLA. The cities of Calgary, London, Mississauga and Winnipeg have opposed Bill 21 and are considering financial aid as well. Brampton's Mayor Patrick Brown has also issued an appeal to 100 Canadian Mayors to join the Brampton City Council in the fight against Quebec's Bill 21.

Victoria Council values the Charter of Rights and Freedoms; and believes we cannot allow the defense of the Charter and the foundational value of religious freedom to be on the backs of racialized communities against the Province of Quebec with unlimited legal resources. Additionally, a Supreme Court decision allowing the infringement of religious freedom would have negative consequences for Victorians and all Canadians.

Therefore, Victoria City Council has authorized funding of \$9500, based on a contribution of 10 cents per capita from the 2022 contingency, to the joint legal challenges of Bill 21 by National Council of Canadian Muslims (NCCM), the World Sikh Organization of Canada (WSO) and the Canadian Civil Liberties Association (CCLA).

.../2

"The City of Victoria recognizes the Songhees and Esquimalt Nations in whose traditional territories we live and work "Hay swx qa"

No.1 Centennial Square Victoria British Columbia Canada V8W 1P6
Telephone (250) 361-0200 Fax (250) 361-0348 Email mayor@victoria.ca

Support for the legal challenge of the Government of Quebec - Bill 21 Li...

THE CITY OF VICTORIA



OFFICE OF THE MAYOR

Please see the attached Appendix for a copy of the Council Member Motion which was approved on January 6, 2022 Council. We invite all those copied to share this letter with their members and to support the legal challenge.

Sincerely,

Lisa Helps
Victoria Mayor

Cc: Union of British Columbia Municipalities
Federation of Canadian Municipalities
Association of Vancouver Island and Coastal Communities
Capital Regional District
Members of Parliament that represent British Columbia
Members of the Legislative Assembly of British Columbia

“The City of Victoria recognizes the Songhees and Esquimalt Nations in whose traditional territories we live and work “Hay swx qa”

No.1 Centennial Square Victoria British Columbia Canada V8W 1P6
Telephone (250) 361-0200 Fax (250) 361-0348 Email mayor@victoria.ca

Support for the legal challenge of the Government of Quebec - Bill 21 Li...

RECOMMENDATIONS

Therefore Be It Resolved:

1. That the City of Victoria support the current legal challenge against the discrimination of freedom of religion in Quebec's Bill 21 - An Act respecting the laicity of the State; and
2. That the Council of the Corporation of the City of Victoria authorize funding of up to \$50,000 from the 2022 Contingency to the joint legal challenges of Bill 21 by National Council of Canadian Muslims (NCCM), the World Sikh Organization of Canada (WSO) and the Canadian Civil Liberties Association (CCLA), with staff identifying the appropriate funding source; and
3. That a copy of this Resolution be sent to:
 - a. the Union of British Columbia Municipalities, the Federation of Canadian Municipalities (FCM) and the Association of Vancouver Island and Coastal Communities requesting they share with all their members inviting municipal and local authorities to support the legal challenge; and
 - b. the Capital Regional District and all Members of Parliament-House of Commons that represent British Columbia, and all Members of the legislative assembly of British Columbia.

Respectfully submitted,



Sharmarke Dubow

Jenn Lounsbury

From: Julian, Peter - Riding 1D <peter.julian.c1d@parl.gc.ca>
Sent: February 10, 2022 7:22 AM
To: Julian, Peter - Riding 1D
Cc: Gesner, Lindsay (Julian, Peter - MP); Mah, Doris (Julian, Peter - MP)
Subject: (BC) Seeking your endorsement for Bill C-229 - Appel à votre soutien pour le projet de loi C 229

[External]

Dear Mayors and Councils,

Everyone deserves to live in safety and dignity. Everyone has the right to feel welcomed and respected in their community. Yet, during the pandemic, racist incidents reported to police have increased at an alarming rate. Tragically, we have seen an increase in Islamophobia, anti-Semitism, racism, homophobia, transphobia and misogyny in our society. We see rising racism against Indigenous people, Black, Asian and other racially marginalized communities, while symbols of hate continue to be displayed and sold across our country.

Last week, I re-tabled my [Private Member's Bill C-229](#), *An Act to Amend the Criminal Code (banning symbols of hate)*, to prevent anyone from selling and displaying symbols that promote hatred and violence against identifiable groups. It is a tool designed to address the growing violence and hate that we are seeing in many Canadian communities.

Thank you to those who joined the call in the previous Parliament for Bill C-229. Today, I am seeking your continued support for this legislation. To those who did not have a chance to show your support in the last parliament, I am seeking your endorsement. This is an opportunity to join tens of thousands of Canadians in calling on the federal government and all MPs to ban the sale and display of hate symbols.

[FOR IMMEDIATE RELEASE - NDP bill would ban hate symbols](#)

Allowing these symbols of hatred to be sold in stores or publicly displayed is threatening for people who have been, and continue to be, targets of violence and oppression.

As we've seen in the past two weeks, during protests around the *Convoy for Freedom*, Canadians witnessed vile and hateful genocidal displays of hate symbols such as Nazi swastikas and the flying of Confederate flags at the very center of Canadian democracy.

With hate crimes on the rise across Canada, we must do everything we can to stop the spread of hate in our communities. Municipalities across the country are seeing the same trend in hate crimes. Hate and associated extremist ideology is spreading like wildfire on the Internet. Even today, many Canadians are saddened by the lack of recourse against the display of symbols that incite hatred. The time for rhetoric is over: the time for action is now.

Banning symbols of hatred like swastikas or Klu Klux Klan insignia, flags such as the standards of Nazi Germany from 1933 to 1945 and those of the white supremacist Confederate States of America from 1861 to 1865, is an important step the federal government should take now for all Canadians to feel safe and secure against hate.

I am seeking your support and public endorsement in the 44th Parliament to urge the federal government and all MPs to support Bill C-229

Please consider using the following text:

On behalf of _____ (Number of residents), _____ (Name of the municipality) endorses MP Peter Julian's Private Member's Bill C-229 - Banning Symbols of Hate Act.

I hope that I can count on you and your council to endorse Bill C-229. Thank you very much for your consideration. I look forward to hearing back from you soon.

If you have questions and require further information, please feel free to contact my assistant Doris Mah, at 604-353-3107 peter.julian.c1d@parl.gc.ca.

Sincerely,
Peter Julian, MP
New Westminster - Burnaby

Chers Messieurs les Maires, Mesdames les Maires, Mesdames et Messieurs membres des conseils municipaux,

Chacun mérite de vivre dans la sécurité et la dignité. Chacun a le droit de se sentir accueilli et respecté dans sa collectivité. Pourtant, pendant la pandémie, les incidents racistes signalés à la police se sont multipliés à un rythme alarmant.

Tragiquement, nous avons constaté une augmentation de l'islamophobie, de l'antisémitisme, du racisme, de l'homophobie, de la transphobie et de la misogynie dans notre société. Nous constatons une hausse du racisme envers les personnes autochtones, noires et asiatiques et d'autres groupes racialement marginalisés, tandis que des symboles haineux continuent d'être affichés et vendus à l'échelle du pays.

La semaine dernière, j'ai déposé de nouveau le [projet de loi d'initiative parlementaire C-229](#), Loi modifiant le Code criminel (interdiction des symboles de haine), qui vise à interdire à quiconque de vendre et d'exposer des symboles qui fomentent la haine et la violence à l'égard de groupes identifiables. Il s'agit d'un outil pour combattre la montée de la violence et de la haine dans les communautés à travers le Canada.

Je remercie tous ceux et celles qui ont soutenu le projet de loi C-229 lors de la 43^e législature. Aujourd'hui, je sollicite de nouveau votre appui.

A ceux et celles qui n'ont pas eu l'occasion de l'appuyer auparavant, j'espère pouvoir compter sur votre soutien pendant cette 44^e législature. C'est l'occasion de vous joindre à des dizaines de milliers de Canadiens et Canadiennes pour demander au gouvernement fédéral et à tous les députés d'interdire la vente et l'exposition de symboles haineux.

[POUR DIFFUSION IMMÉDIATE – Un projet de loi du NPD interdirait les symboles haineux](#)

Donner libre cours à la vente en magasin et à l'exposition publique de ces symboles haineux s'avère une menace inquiétante pour les personnes qui ont déjà été, et continuent d'être, la cible de violence et d'oppression ou qui le sont encore.

Depuis deux semaines, les Canadiennes et les Canadiens ont vu des manifestants du « convoi de la liberté » brandir d'odieux symboles génocidaires et haineux, tels que des croix gammées nazies et des drapeaux confédérés, au cœur même de la démocratie canadienne.

Les crimes haineux étant en hausse partout au Canada, nous devons faire tout ce qui est en notre pouvoir pour arrêter la propagation de la haine dans nos collectivités. Partout au pays, les municipalités constatent la même tendance en matière de crimes haineux. La haine et l'idéologie extrémiste qui l'accompagne se répandent comme une traînée de poudre sur Internet. Encore aujourd'hui, de nombreux Canadiens et Canadiennes sont attristés par l'absence de recours contre l'affichage de symboles qui incitent à la haine. Le temps de la rhétorique est révolu : le moment est venu d'agir.

Interdire les symboles de haine comme les croix gammées ou les insignes du Ku Klux Klan, les drapeaux comme les étendards de l'Allemagne nazie de 1933 à 1945 et ceux de la suprématie blanche des États confédérés d'Amérique de 1861 à 1865, est une mesure importante que le gouvernement fédéral devrait prendre maintenant pour que l'ensemble de la population canadienne se sente en sécurité et à l'abri de la haine.

Je sollicite votre appui et votre soutien public au cours de la 44^e législature pour inciter le gouvernement fédéral et tous les député.es à appuyer le projet de loi C-229.

Je vous propose d'utiliser la résolution suivante :

Au nom de ses _____ (nombre de résidents) résidents, _____ (nom de la municipalité) soutient le projet de loi C-229, Loi sur l'interdiction des symboles de haine, d'initiative parlementaire du député Peter Julian.

Je vous remercie de l'attention que vous porterez à ma demande. J'espère pouvoir compter sur votre soutien et recevoir bientôt de vos nouvelles.

Merci beaucoup pour votre considération. N'hésitez pas à contacter mon adjointe Doris Mah au 604-353-3107 peter.julian.c1d@parl.gc.ca si vous avez besoin de plus amples informations.

Sincères salutations,
Peter Julian, député
New Westminster—Burnaby

Office of Peter Julian, MP (New Westminster-Burnaby) | Bureau du député Peter Julian (New Westminster-Burnaby)
New Democratic Party | Nouveau Parti démocratique

I acknowledge that I work on the unceded traditional territory of the Algonquin, Haudenosaunee and Anishinabek peoples.

Je reconnais que je travaille sur le territoire non-cédé des nations Algonquine, Haudenosaunee et Anishinabek.

New Westminster is located on the unceded and traditional territory of the Halq'eméylem speaking Coast Salish peoples. This includes the nations of the Qayqayt, q'wa:ńł'əń (Kwantlen), Katzie, kwikwəłwəm (Kwikkwetlem), x'wməθk'əyəm (Musqueam), Stó:lō, scəwaθn məsteyəxw (Tsawwassen), and Tsleil-Waututh.

Burnaby is located on the ancestral and unceded homelands of the hənqəminəm and Skwxwú7mesh speaking peoples as well as all Coast Salish peoples.

(TEL) 613.992.4214 | (CELL) 613.222.4074 | FAX) 613.947.9500

UFCW | TUAC

 **Help save paper - do you need to print this email?**

 **Économisons le papier – est-il vraiment nécessaire d'imprimer ce courriel?**

"My friends, love is better than anger. Hope is better than fear. Optimism is better than despair. So let us be loving, hopeful and optimistic. And we'll change the world."
-Jack Layton, 1950-2011

« Mes amis, l'amour est cent fois meilleur que la haine. L'espoir est meilleur que la peur. L'optimisme est meilleur que le désespoir. Alors aimons, gardons espoir et restons optimistes. Et nous changerons le monde. »
-Jack Layton, 1950-2011

This email message and any attachment may contain privileged or confidential information and is intended only for the named recipient(s) or group indicated. If you have received this message in error, or are not the named recipient(s), please notify the sender and delete this email message. Thank you for your cooperation.

Ce courriel, ainsi que tout fichier annexé peut contenir des renseignements protégés ou confidentiels et concerne uniquement les destinataires indiqués. Si vous avez reçu ce courriel par erreur, ou si vous n'êtes pas les destinataires, veuillez en aviser l'expéditeur et l'effacer. Merci de votre coopération.



February 15, 2022

Mayor and Council of the District of Ucluelet

Abby Fortune

Dear everyone,

The Ucluelet Children's Centre is hoping to apply for the Coop Community Spaces Grant for the playground redesign and pea gravel replacement again this year.

The grant does require a letter of support from the District as the landlords of the property being considered as well as a partnership with our municipal government who will accept funding and issue receipts on our behalf.

The grant deadline is March 1, 2022.

If you have any questions or require anything further, please let us know.

The grant information can be found at the following link: https://www.co-op.crs/articles/detail/community-spaces-funding?utm_source=loknow&utm_medium=search&gclid=Cj0KCQiAu62QBhC7ARIsALXijXTKpK8dhjFQvDj7CUZypKnu2yi8M0JM7L1jhr2vhvO-wPvIFTS6WBwaAqt1EALw_wcB&gclsrc=aw.ds

Thank you

Kathy de Vries

Daycare Manager

On behalf of the Board of Directors of the Ucluelet Children's Centre.

From: [Rich Parlee](#)
To: [Community Input Mailbox](#)
Subject: Village Green
Date: January 5, 2022 4:41:47 PM

[External]

Rich Parlee 1211 Eber Rd, Ucluelet, BC V0R 3A0, Canada
250 726 6427

Att. Mayor and Council,

I am delighted with the plan to beautify the Village Green but I request that you DO NOT eliminate all those parking spaces. Please leave them basically as they are and then beautify it within that restriction.

I enjoy the village Green but cannot support making seniors like me and others who are less than fully mobile WALK up and down steep hills to enjoy it.

Thank you

Rich Parlee



Bayshore Waterfront Inn

153 Hemlock Street , Ucluelet BC, V0R 3A0
Phone: 250 726 2337

To Whom it May Concern,

I have noticed that in the last 6-8 years the crop of town planning graduates mantra seems to be "green space". The more the better. This may hold true in a city such as Vancouver or Victoria where population densities cry out for green space.

We here in Ucluelet happen to live in a rain forest. If you want a tree walk a 100 meters in any direction and your wish is fulfilled. Our council and town planner have decided to eliminate the parking in the town square and make it "GREEN" Leaving the local business with the problem of parking. I assume that they are trying to drive all parking to the new lot behind Crows Nest. It begs a few questions. Did the town planner happen to look how many days a year it rains here? My search tells me 206 per year with 131.9 inches or 3351 MM. (currentresults.com/Weather-Extremes/Canada/wettest.php)

Who will walk over 100 meters to go to a gift shop in the rain?

If the village is going to use the tax money from the tourism fund it might be better to improve the appearance of the buildings of the square. The village office building is just a square metal sided unattractive building. CIBC, Pizza Place, Liquor store. Offer them an incentive to put up a façade and come up with a color scheme. Make it look more like a village instead of a park. It would benefit the village square to try to bring all surrounding structures in line to a common theme. Put up some signage directing people to the toilets as there are none now. As one of the residents mentioned How does this benefit **tourism if they have no where to park?**
This is just a bad idea and a waste of money.

George Taylor

Bayshore Waterfront Inn
Box 114, Ucluelet BC, V0R 3A0
www.bayshorewaterfrontinn.com
info@bayshorewaterfrontinn.com

February 4, 2022

Mayor and Council, District of Ucluelet

Re: Village Green

The District is proposing to develop and revitalize the historic downtown area known as the Village Green; a welcoming project, and I applaud the District's leadership to undertake exciting renewal for our town.

However, the Village Green proposed re-development is raising anxieties among our community and I feel it is not being adequately address through District communication. Case in point...

I have gone to the District's website to learn about the planned Village Green development. I find the pdf of *poster boards* from the 2019 open house. **I have looked at these carefully and do not find any updated information to inform me where the proposal currently stands.** This leaves me confused and flummoxed; especially when I look at the poster board titled: "Next Steps" showing the time-line. This time line is now a retrospection and not a forward-looking document. The time-line states that in March of 2020 community engagement took place and a preferred development option was generated – yet I can't find any current information on the District's website as to what transpired at this March 2020 community engagement and what resulting design changes it brought about. All the pdf documents I can find on the District website seem to relate only to the 2019 Open House. There is nothing up-to-date.

Also, I have been informed that the District held an on-line survey in December 2021 garnering 401 responses with 278 respondents expressing concerns regarding plans to alter parking.

Fair concerns have been raised; yet, there seems to be no response – public, or in writing, from the District to help allay expressed concerns.

This project is: important, expensive, and will certainly be disruptive during construction. We have a very small town and the Village Green revitalization will impact a good portion of Ucluelet businesses – some of these businesses are essential services.

So, I am concerned and want to understand the fine points of what the District Is proposing. What are the new time lines? How will the District address parking concerns? How will construction impact our businesses? How are the concerns raised in the survey being addressed?

There is much information that the District still needs to communicate to our public so as to lessen our anxieties and help us see the vision you are planning for. I ask for a public forum to address these issues.

Sincerely,

Jeanne Keith-Ferris
855 Barkley Pl., Ucluelet, BC

February 9th, 2022

Dear Mayor and Council,

Village Green, Issues to Be Considered

Our downtown historical core is about to undergo major changes that will not necessarily improve the life of Ucluelet residents and the businesses in that location.

- **Serious issues include the reduction of parking stalls, limited/no access to businesses by car, traffic flow and keeping businesses busy, especially during this long Covid crisis. With the increase in visitors to our town, parking stalls should increase, not decrease. The District of Ucluelet is planning to remove approximately forty parking stalls between Main Street, Fraser Lane, and Helen Road, all by the Village Green. The District used to require businesses to provide parking to operate; has this changed?**

We are all aware of the challenges we have had with parking in town, especially during high season. Recently, our district has added a parking lot off Cedar Street, providing twenty additional parking stalls, but with the new Village Green project, the plan is to take away approximately forty parking stalls from that area. We do not need to become like Tofino and have visitors parking in residential neighborhoods. These changes are impractical for those who shop and do business down there.

A suggestion to the council would be to do **a pilot project blocking all** the parking stalls the village is planning to remove, for a limited period of time, starting when tourism increases, around Spring Break. This project would allow everyone to see how the District's plan works. Once the pilot project is done, the District would consult with the businesses and the community to consider the impact of the changes on the town before they become permanent, **as we never know until we try.**

By losing parking stalls in the Village Green area, more people will have to walk down this long steep hill of Main Street and go back up again, which is a major challenge for a lot of people considering the number of rainy days we get most of the year. Has the district thought about physically challenged people, elderly

people, and families with small children, and how they would have to walk to the bank or other businesses if they cannot park right next to them because of limited parking stalls. It would be quite challenging for them all. These parking stalls could be limited to two hours only. Honestly, the Village Green space is already sufficient for the community events, even on Canada Day.

- **Traffic Flow - Another idea would be for Main Street to become a one-way street down, to make and allow the widening of sidewalks, but keep parking stalls the way they are.**

Driving up Main Street has always been dangerous as people get to the top and often wonder what they should do as there are no indications of what to do, such as right away on the right and halting on the left. Also narrowing Fraser Lane and making it one way towards Bay Street sounds really challenging for trucks and for keeping a good flow of traffic. It is hard to imagine trucks with their long trailers having to go up Bay Street, which is a steep narrow street to then make a turn on Peninsula Road.

We must improve what we have instead of trying to start something new. It is a priority to take care of our existing infrastructure while keeping the character of our town as it is. There are so many more important issues that need to be addressed in our town. Council's task is to listen, to serve their constituents, and implement their requests. Thank you for your attention.

Rina Bekker-Vigneault

Jenn Lounsbury

From: Patricia Sieber <psieber@telus.net>
Sent: February 15, 2022 9:51 AM
To: Info Ucluelet
Subject: Village Green

[External]

To the Mayor and Council:

The results of your survey regarding changes to the Downtown area, The Village Green, are now known. Logically you are now ready to enter into discussions with the public about suggested revisions and further planning. If all decisions have been made, a survey to seek input would have been deceptive. So I am proceeding with the belief that you are open to modifications to the published plan.

I have sent my concerns to you in the past, but perhaps because I addressed them to you individually and not to the info@ucluelet.ca address they are not part of the public record. I will recap my major ones here:

1. Loss of parking near the aquarium may seriously affect visitation. If you check with Aquarium staff you will find that attendance is greater on rainy days, when the beaches and trails are less attractive. In the summer, at the best of times, the majority of present parking spots are well utilized. That includes the newer ones on Cedar street behind the Crow's Nest. Removing any spaces will create problems in other parts of Ucluelet. I am sure there are ways to make the downtown area more attractive and pedestrian friendly without sacrificing parking space.
2. Removing parking near businesses will have a detrimental effect on their financial health. Many of these businesses are unique and appeal to visitors and locals alike. Many local residents appreciate the ability to park close to the stores they visit. This is especially true in the rainy months.
3. The improvement to the existing playground is welcomed. It will benefit visitors as well as local residents. The parents of the children who will be using the playground would welcome a chance to help in the design and selection of equipment. Who is better qualified to know what equipment will be most used than the ones who use the playground? I am a Grandmother with grandchildren who visit and I can say that one of the things parents will want is a public washroom closer to the playground than the present ones by the Aquarium.

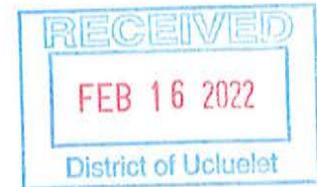
I see the Village Green proposal as an excellent beginning. Public input will insure that it becomes an actual improvement to our village and not just something we will have to learn to live with.

To facilitate the continuing process, I suggest an open meeting that allows public comment and identification of both positive and negative aspects of the present plan. I also suggest some special smaller group discussions (parents of young children, local business owners, and possible other groups). These sessions will need to be more than presentations of ideas already decided upon. Participants will need to feel that their input is valuable and taken into consideration.

At the moment I have confidence that you want this project to be something the residents of Ucluelet will be happy with for the decades to come. Please take the time to refine it in this light.

Patricia Sieber
 1058 Helen Road
 Ucluelet

Phone 250-726-7202



February 15, 2022

To:

Mayor and Council
District of Ucluelet
200 Main Street
Ucluelet, BC V0R 3A0

Re: Revitalization of Village Green: Open Letter to Council.

Please find enclosed an Open Letter to the Mayor and Council requesting an Open House and an information event for the planned Village Green revitalization project; for your consideration at your February 22, 2022 regular Council meeting.

This letter has been signed by numerous Ucluelet business owners and residents of Ucluelet.

Thank you.

Jeanne Keith-Ferris
855 Barkley Pl.
Ucluelet, BC
V0R 3A0

OPEN LETTER TO DISTRICT OF UCLUELET VILLAGE GREEN RE-VITALIZATION

February 4, 2022

To: Mayor and Council, District of Ucluelet

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

It is vital for us to hear from the District for clarification on:

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

Sincerely,

Sign on back

OPEN LETTER TO DISTRICT OF UCLUELET VILLAGE GREEN RE-VITALIZATION

February 4, 2022

To: Mayor and Council, District of Ucluelet

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

It is vital for us to hear from the District for clarification on:

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

Sincerely,

Sign on back

Signature

Print Name

Address/Business Name

[Signature] Judith Radford 711-1971 Harbour Rd. ^{UK1505}

[Signature] DAN EDWARDS 1652 Holly Crescent

[Signature] JAN DRABEKE 205 Main St.

[Signature] Natasha George 1776 Bay St

[Signature] Debbie Webb 1689 Bay St.

[Signature] NIKEL BAILEY 1645 Cedar Rd.

[Signature] Edw'n #105 - 9951 Sunny Bc.

[Signature] S. Denton Searnaigh Denicola 125 Garden St Ucluelet

[Signature] FAT GETHRKE 204 BIRCH ST.

[Signature] ADELE LARKIN 596 MARINE DR.

[Signature] Julia Mickey BOX 105

OPEN LETTER TO DISTRICT OF UCLUELET VILLAGE GREEN RE-VITALIZATION

February 4, 2022

To: Mayor and Council, District of Ucluelet

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

It is vital for us to hear from the District for clarification on:

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

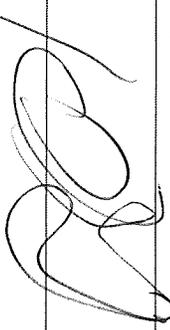
Sincerely,

Sign on back

Signature

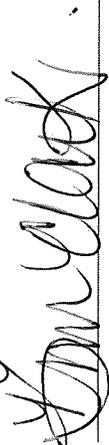
Print Name

Address/Business Name



Calvin Clark

401 Marine Dr



Kim Clark

401 Marine Drive



Ainsley Drake

1317 Victoria Rd



Mackenzie Drake

1317 Victoria Rd



Alistair Drake

1317 Victoria Rd



DAVID MENTOOSH

1518 IMPERIAL LANE

OPEN LETTER TO DISTRICT OF UCLUELET VILLAGE GREEN RE-VITALIZATION

February 4, 2022

To: Mayor and Council, District of Ucluelet

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

It is vital for us to hear from the District for clarification on:

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

Sincerely;

Signature

Print Name

Address/Business Name

[Handwritten Signature]

Cassandra Martin West Coast Motel.

Evelyn Charlie Hiteau

[Handwritten Signature]

TANYA WALLIS, West Coast Motel.

[Handwritten Signature]

ANDREW SCOTT PO Box 1067

[Handwritten Signature]

Kon Jane West Coast Motel

[Handwritten Signature]

Janette Fernandez West Coast Motel

[Handwritten Signature]

Aaron Zeschman West Coast Motel

[Handwritten Signature]

Adrienne Poirer Box 465 McLaurel

[Handwritten Signature]

[Handwritten Signature]

Sign on back

Sincerely,

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

It is vital for us to hear from the District for clarification on:

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

To: Mayor and Council, District of Ucluelet

February 4, 2022

**OPEN LETTER TO DISTRICT OF UCLUELET
VILLAGE GREEN RE-VITALIZATION**

Signature

Print Name

Address/Business Name

Barbara Forrest

Barbara Forrest

372 Marine Drive

Bruce Forrest

Bruce Forrest

572 Marine Drive

Katey Devlin

KATEY DEVLIN

459 Orae Cst

Laurie Crozier

Laurie Crozier

430 Orae Crescent

Pat Paulsen

Pat Paulsen

1969 St Jacques Blvd,

Wade Appenheimer

1624 Bay St

Joyanne Allison

JOYANNE ALLISON
Quade Appenheimer

1624 Bay St.

Carol Astrom

CAROL ASTROM

1380 Pine Rd,

Maquet (Peggy) Anett

Maquet (Peggy) Anett

#601 1471 Harbour Cres

Alexandra Marshall

Alexandra Marshall

90 Thornton Rd
Tidevine Garden Service

OPEN LETTER TO DISTRICT OF UCLUELET VILLAGE GREEN RE-VITALIZATION

February 4, 2022

To: Mayor and Council, District of Ucluelet

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

It is vital for us to hear from the District for clarification on:

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

Sincerely;

O B Congdon
Kathleen Congdon
David Mitchell

Signature

Print Name

Address/Business Name

Wendy Kocourek's

WESTCOAST LAWYERS

Yann Chevry

Relic Surf Shop

Sierra Griffin

1147 Coral Way

Michelle Martin

Michelle Martin

1684 Holly Crescent

Mary Ellen Bent

Mary Ellen Bent

Thay Tea

Naomi Furst

Naomi Furst

Usulut Rmt.

Sandy Leslie

Sandy Leslie

1340 Pine Rd.

Helen Wisnna

Helen Wisnna

162 Helen Road

Chette Forget

Chette Forget

Blackberry Lane

Arlene Winbury

ARLENE WINBURY

1746 Cedar Road

Diane Arentsen

Diane Arentsen

3-1626 Holly Cr.

Rina Vignault

Rina Vignault

922 Peninsula Dr

OPEN LETTER TO DISTRICT OF UCLUELET VILLAGE GREEN RE-VITALIZATION

February 4, 2022

To: Mayor and Council, District of Ucluelet

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

It is vital for us to hear from the District for clarification on:

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

Sincerely;

Signature

[Handwritten signature]

Print Name

Shaine TAN

Address/Business Name

*Harbourview
Drugstore*

OPEN LETTER TO DISTRICT OF UCLUELET VILLAGE GREEN RE-VITALIZATION

February 4, 2022

To: Mayor and Council, District of Ucluelet

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

It is vital for us to hear from the District for clarification on:

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

Sincerely,

Sign on back

Signature

Print Name

Address/Business Name

Matthew Jack

Matthew Jack

Po Box 572

Denise Stoddart

Denise Stoddart

184 Matterson Dr.

Michelle Kemp

Michelle Kemp

1754 Peninsula Rd.

Lorna Watson

LORNA WATSON

82 THORNTON RD

Niamh O'Reilly

Niamh O'Reilly

1274 Peninsula Rd.

Pamela Froehwirth

Pamela Froehwirth

1436 Imperial CN

OPEN LETTER TO DISTRICT OF UCLUELET VILLAGE GREEN RE-VITALIZATION

February 4, 2022

To: Mayor and Council, District of Ucluelet

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

It is vital for us to hear from the District for clarification on:

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

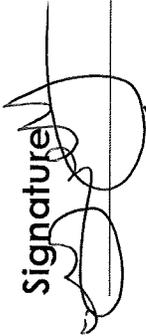
Sincerely,

Sign on back

Signature

Print Name

Address/Business Name



MARY HARVEY

1708 PENINSULA RD. UCLUELET



Cindy Howard

1553 Leach Rd. Ucluelet. Bc



Ayata Cofts

371 Marine Dr. Ucluelet BC



Jim Whitworth

Box 504 Ucluelet BC

OPEN LETTER TO DISTRICT OF UCLUELET VILLAGE GREEN RE-VITALIZATION

February 4, 2022

To: Mayor and Council, District of Ucluelet

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

It is vital for us to hear from the District for clarification on:

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

Sincerely;

Sign on the back →

Signature

Print Name

Address/Business Name

Ucluelet Secondary School!

Lucas Anderson

Box 434, Ucluelet, BC

Kevin Nixon

1309 Victoria Rd.
monique.lan@hotmail.com

Monique Copeland

Box 885 Ucluelet BC.

Shannon McWhinney

Monique Copeland

Shannon McWhinney

February 4, 2022

To: Mayor and Council, District of Ucluelet

We, the undersigned represent small business owners, employees, patrons and residents of Ucluelet.

The proposed Village Green re-vitalization will create many positive enhancements to our waterfront. Ucluelet holds a strong and proud connection to its historical working waterfront area.

However, we signatories, are reaching out to the District of Ucluelet (District) requesting clarification on the details and scope of the proposed design, for phase one, and phase two of the project.

COVID has hampered opportunities for greater dialogue in the planning process. Further, the District's on-line survey (December 2021) showed: more than half of the respondents voiced concern about the loss of street parking within the downtown core.

It is vital for us to hear from the District for clarification on:

- Time line for proposed project,
- Scope of fully completed project,
- Parking concerns within the downtown core,
- Cenotaph,
- Traffic flow.

Ucluelet's citizens desire more input, clarity, and the opportunity to express ideas. More community consultation is needed before a final decision on this important project is reached.

We are requesting that the District hold an information sharing event and welcome stakeholder / concerned citizens questions.

Sincerely;

See over

Signature

Print Name

Address/Business Name

Patricia Sieber

Patricia Sieber

1058 Helen Road

Silvia Jansson

Silvia Jansson

1058 Helen Rd

Carl Jansson

Carl Jansson

1058 Helen Rd

Shirley Martin

Shirley Martin

1147 Helen Rd.

Keith Martin

Keith Martin

1147 Helen Rd

Johnny Kovacs

Johnny Kovacs

2430 Pacific rim Hwy

L. Hannel

L. Hannel

8-911 Campbell St. Tjine



Village of Chase

PO Box 440, 826 Okanagan Ave,
Chase, British Columbia V0E 1M0
Office: 250.679-3238
Fax: 250.679-3070
www.chasebc.ca

February 1, 2022

Via email: mel.arnold@parl.gc.ca

Mel Arnold, Member of Parliament
North Okanagan-Shuswap
House of Commons
Ottawa, Ontario
Canada
K1A 0A6

Dear Mr. Arnold:

RE: BC Wildfires Petition-District of Lillooet

At their January 11, 2022 regular meeting, the Village of Chase Council considered correspondence from the District of Lillooet regarding the increasing risk and occurrences of wildfires, landslides and flooding in British Columbia.

In support of the 'Call to Action' petition and the District of Lillooet's motion, the following resolution was passed by Chase Council:

"THAT the Village of Chase send a letter to our Member of Parliament, Mel Arnold and copy our Member of the Legislative Assembly, Todd Stone, the Minister of Forests, Lands, Natural Resources Operations and Rural Development, the Minister of Public Safety and Solicitor General, the Premier of British Columbia (with copies to the District of Lillooet and all UBCM member local governments) requesting that our Provincial and Federal Governments provide better forest management and wildfire protection practices in British Columbia by reviewing and assessing the current policies and guidelines and inviting feedback from a wide variety of stakeholders, with the sincere intent to make meaningful changes to the forest management and wildfire protection practices in British Columbia to provide better protection for all of us from wildfires, landslides, and floods."

As we are all aware, the wildfires, landslides and floods that have ravaged so much of British Columbia over the past years will only continue to damage valuable forests, businesses, homes and take the lives of humans and animals, if no action is taken to lessen the effects of climate change in BC with particular attention to forest management and wildfire protection practices.

We respectfully request that you share this correspondence with the House of Commons, and that the Call to Action will be answered as quickly as possible.

Sincerely,

VILLAGE OF CHASE

A handwritten signature in cursive script that reads "Rod S. Crowe".

Rod Crowe, Mayor

Cc: Todd Stone, MLA, Kamloops-South Thompson
District of Lillooet
All UBCM Member Local Governments

Jenn Lounsbury

From: Kellsie Forbes <kellsieforbes@gmail.com>
Sent: February 16, 2022 9:40 AM
To: corporateservices@tofino.ca; Info Ucluelet
Subject: CARE Network is essential to coastal life

[External]

Dear Mayor & Council,

Please accept this letter as my support for the Mayor and Council to properly fund animal related services in our community, now. CARE Network has established essential, regional animal care & control related resources and services and our community should be paying for our share of the associated costs.

This Non-Profit Society has been providing community health and safety related services for the past ten years with no core financial support from the district/communities of Tofino or Ucluelet.

While the communities of Tofino and Ucluelet seem happy to utilize the resources and services provided by the CARE Network, such as the animal shelter and after-hour animal emergency services, our Indigenous neighbours are the only communities that financially support the operating costs of these services, along with a team of hardworking volunteers.

It is well-known within our communities to call CARE with animal incidents, not Bylaw. The usual experience when calling Bylaw is that it's extremely rare to actually reach a person during business hours, and if you do happen to speak with someone, the response is either:

- *We will look into it when/if we have time, or*
- *We don't have the capacity to pick up stray, injured or unwanted animals, or*
- *Call the CARE Network*

Bylaw has many other situations to deal with, but animals have always been the number one priority of CARE Network. Because of the non-response from bylaw, CARE Network gets all the animal related calls. This is part of the reason why the District has a skewed perception of the amount of animal incidents that actually occur annually in this region. It is my understanding that the actual statistics have been provided to the District by CARE Network, but those numbers were not properly represented during the recent council meeting.

The suggestion by the Mayor and Council to drive stray animals to the BC SPCA in Port Alberni is not only an inefficient and expensive solution to this issue, but one that is not at all sustainable.

Proposed Solutions:

1. Please revisit your decision to not properly fund animal related services as per CARE Network's proposal and either,

a. Accept CARE's 2022 proposal to provide comprehensive animal service support, or

b. Work with CARE Network in the coming months to establish their services at a regional level, perhaps via the ACRD, and fund our share of the services that way.

2. Direct Staff to redesign how bylaw related calls are managed and accounted for. CARE Network has provided District Staff with detailed instructions on how to use Telus to track what types, and the number of calls that come in, even if Bylaw doesn't answer the phone and the caller doesn't leave a message.

Animal situations happen all the time in our community and at all hours. There are stray dog situations that put people and other animals at risk, unwanted cat situations that attract wild predators into the community that increase human/wildlife conflict potential, injured birds and sea mammals that are often catalysts for dog and human safety concerns. CARE Network volunteers have spent ten years helping to manage these situations to keep our community safe and healthy. Other volunteers did this before CARE Network. The problems are clear and we now have the statistics to verify them.

It is time for our community to pay its share of the regional cost to manage these situations, and sharing these services and their costs with the other communities in the region is the way to go. It isn't right that our neighbouring communities pay for the services that we take advantage of at no cost.

Sincerely, with a pet I loved from the CARE network,
Kellsie Forbes

--

PO Box 1107
Tofino, BC (traditional territory of the Tla-o-qui-aht First Nation)
V0R 2Z0
250-726-6516

Jenn Lounsbury

From: Krista Prior <krista@kristaprior.com>
Sent: February 16, 2022 9:49 AM
To: Info Ucluelet
Subject: Request to Fund Animal Care

[External]

Dear Mayor & Council,

Please accept this letter as my support for the Mayor and Council to properly fund animal related services in our community, now. CARE Network has established essential, regional animal care & control related resources and services and our community should be paying for our share of the associated costs.

This Non-Profit Society has been providing community health and safety related services for the past ten years with no core financial support from the district/communities of Tofino or Ucluelet.

While the communities of Tofino and Ucluelet seem happy to utilize the resources and services provided by the CARE Network, such as the animal shelter and after-hour animal emergency services, our Indigenous neighbours are the only communities that financially support the operating costs of these services, along with a team of hardworking volunteers.

It is well-known within our communities to call CARE with animal incidents, not Bylaw. The usual experience when calling Bylaw is that it's extremely rare to actually reach a person during business hours, and if you do happen to speak with someone, the response is either:

- We will look into it when/if we have time, or*
- We don't have the capacity to pick up stray, injured or unwanted animals, or*
- Call the CARE Network*

Bylaw has many other situations to deal with, but animals have always been the number one priority of CARE Network. Because of the non-response from bylaw, CARE Network gets all the animal related calls. This is part of the reason why the District has a skewed perception of the amount of animal incidents that actually occur annually in this region. It is my understanding that the actual statistics have been provided to the District by CARE Network, but those numbers were not properly represented during the recent council meeting.

The suggestion by the Mayor and Council to drive stray animals to the BC SPCA in Port Alberni is not only an inefficient and expensive solution to this issue, but one that is not at all sustainable.

Proposed Solutions:

1. Please revisit your decision to not properly fund animal related services as per CARE Network's proposal and either,

- a. Accept CARE's 2022 proposal to provide comprehensive animal service support, or**
- b. Work with CARE Network in the coming months to establish their services at a regional level, perhaps via the ACRD, and fund our share of the services that way.**

2. Direct Staff to redesign how bylaw related calls are managed and accounted for. CARE Network has provided District Staff with detailed instructions on how to use Telus to track what types, and the number of calls that come in, even if Bylaw doesn't answer the phone and the caller doesn't leave a message.

Animal situations happen all the time in our community and at all hours. There are stray dog situations that put people and other animals at risk, unwanted cat situations that attract wild predators into the community that increase human/wildlife conflict potential, injured birds and sea mammals that are often catalysts for dog and human safety concerns. CARE Network volunteers have spent ten years helping to manage these situations to keep our community safe and healthy. Other volunteers did this before CARE Network. The problems are clear and we now have the statistics to verify them.

It is time for our community to pay its share of the regional cost to manage these situations, and sharing these services and their costs with the other communities in the region is the way to go. It isn't right that our neighbouring communities pay for the services that we take advantage of at no cost.

Best regards,



Krista Prior - REALTOR®
460 Realty Inc. - Ucluelet
Cell: [250-730-5444](tel:250-730-5444)
Office: [250-726-2666](tel:250-726-2666)
Email: krista@kristaprior.com
Web: <http://kristaprior.com>
 108-1917 Peninsula Road
 PO Box 157
 Ucluelet, BC, V0R 3A0

This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this email in error please notify the system manager. This message contains confidential information and is intended only for the individual named. If you are not the named addressee you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake and delete this e-mail from your system. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited.

Jenn Lounsbury

From: Nancy Atleo <nancyatleo@icloud.com>
Sent: February 16, 2022 11:48 AM
To: Info Ucluelet
Subject: Support for funding for CARE Network

[External]

Dear Mayor & Council,

Please accept this letter as my support for the Mayor and Council to properly fund animal related services in Tofino/Ucluelet, now.

I agree wholeheartedly in calling for the City of Tofino and the District of Ucluelet to help fund the work of the CARE Network. The belief that animals have rights and that protecting them against cruelty, abuse and neglect is something we all value as a society. This non-profit society has been providing animal health and safety related services for over ten years with no core financial support from the city/district of Tofino or Ucluelet. I find this disheartening and disrespectful.

I see posts on social media every day by the people of Tofino and Ucluelet utilizing the resources and services provided by the CARE Network, such as the animal shelter and after-hour animal emergency services. Tofino's own citizens speaking out on public social media that Tofino Bylaw department has no time for animal related issues and incidents. Rarely anyone answers the Bylaw office phone and when they do the caller is met with resistance to deal with anything animal related. The Bylaw officer are busy with other issues and will even tell the caller to reach out to the CARE Network for assistance, because even they know that is the organization that is in the community to protect and care for the animals. It is obvious on all the social media platforms that the CARE Network is used by everyone, up and down the Coast constantly. Expecting people in the community to drive injured and stray animals to the BC SPCA in Port Alberni is inefficient, expensive and not sustainable.

I had no idea that the city/district of Tofino and Ucluelet were not supplying core funding to this amazing and VERY needed organization. It has been recently brought to my attention that the local First Nation communities, who have funding issues themselves, are the only organizations financially supporting the core operating costs of CARE Network.

I donate financially and volunteer my time to the CARE Network on a regular basis because I know the hardworking staff, amazing volunteers and all the animals need my support and help.

Proposed Solutions:

- 1. Please revisit your decision to not properly fund animal related services as per CARE Network's proposal and either,**
 - a. Accept CARE's 2022 proposal to provide comprehensive animal service support, or**
 - b. Work with CARE Network in the coming months to establish their services at a regional level, perhaps via the ACRD, and fund our share of the services that way.**
- 2. Direct Staff to redesign how bylaw related calls are managed and accounted for. CARE Network has provided District Staff with detailed instructions on how to use Telus to track what types, and the number of calls that come in, even if Bylaw doesn't answer the phone and the caller doesn't leave a message.**

I cannot imagine what would happen if the CARE Network was not available to rescue and care for suffering animals in our communities. It follows, then, that the city/district governments of Tofino and Ucluelet should be willing to help support its vital work, rather than leave it entirely dependent on the local and off-shore First Nation communities and private donations.

We are stronger when we stand together. Please fund the CARE Network.

Nancy Atleo

Jenn Lounsbury

From: Niamh O'Reilly <niamh.j.oreilly@gmail.com>
Sent: February 16, 2022 9:48 AM
Subject: CARE Network Support

[External]

Dear Mayor & Council,

Please accept this letter as my support for the Mayor and Council to properly fund animal related services in our community, now. CARE Network has established essential, regional animal care & control related resources and services and our community should be paying for our share of the associated costs.

This Non-Profit Society has been providing community health and safety related services for the past ten years with no core financial support from the district/communities of Tofino or Ucluelet.

While the communities of Tofino and Ucluelet seem happy to utilize the resources and services provided by the CARE Network, such as the animal shelter and after-hour animal emergency services, our Indigenous neighbours are the only communities that financially support the operating costs of these services, along with a team of hardworking volunteers.

It is well-known within our communities to call CARE with animal incidents, not Bylaw. The usual experience when calling Bylaw is that it's extremely rare to actually reach a person during business hours, and if you do happen to speak with someone, the response is either:

- We will look into it when/if we have time, or
- We don't have the capacity to pick up stray, injured or unwanted animals, or
- Call the CARE Network

Bylaw has many other situations to deal with, but animals have always been the number one priority of CARE Network. Because of the non-response from bylaw, CARE Network gets all the animal related calls. This is part of the reason why the District has a skewed perception of the amount of animal incidents that actually occur annually in this region. It is my understanding that the actual statistics have been provided to the District by CARE Network, but those numbers were not properly represented during the recent council meeting.

The suggestion by the Mayor and Council to drive stray animals to the BC SPCA in Port Alberni is not only an inefficient and expensive solution to this issue, but one that is not at all sustainable.

Proposed Solutions:

- 1. Please revisit your decision to not properly fund animal related services as per CARE Network's proposal and either,**
 - a. Accept CARE's 2022 proposal to provide comprehensive animal service support, or**
 - b. Work with CARE Network in the coming months to establish their services at a regional level, perhaps via the ACRD, and fund our share of the services that way.**

- 2. Direct Staff to redesign how bylaw related calls are managed and accounted for. CARE Network has provided District Staff with detailed instructions on how to use Telus to track what types, and the number of calls that come in, even if Bylaw doesn't answer the phone and the caller doesn't leave a message.**

Animal situations happen all the time in our community and at all hours. There are stray dog situations that put people and other animals at risk, unwanted cat situations that attract wild predators into the community that increase human/wildlife conflict potential, injured birds and sea mammals that are often catalysts for dog and human safety concerns. CARE Network volunteers have spent ten years helping to manage these situations to keep our community safe and healthy. Other volunteers did this before CARE Network. The problems are clear and we now have the statistics to verify them.

It is time for our community to pay its share of the regional cost to manage these situations, and sharing these services and their costs with the other communities in the region is the way to go. It isn't right that our neighbouring communities pay for the services that we take advantage of at no cost.

With kind regards,

Niamh O'Reilly

Jenn Lounsbury

From: Jenny Touchie <jennytouchie@gmail.com>
Sent: February 16, 2022 10:48 AM
To: Info Ucluelet
Subject: Importance of the DOU financially contributing to the CARE Network

[External]

Dear Mayor & Council,

Please accept this letter as my request for the Mayor and Council to properly fund animal related services in Ucluelet, now. CARE Network has established essential, regional animal care & control related resources and services and Ucluelet should be paying for your share of the associated costs.

This Non-Profit Society has been providing community health and safety related services for the past ten years with no core financial support from the district/communities of Tofino or Ucluelet.

While the communities of Tofino and Ucluelet seem happy to utilize the resources and services provided by the CARE Network, such as the animal shelter and after-hour animal emergency services, **our Indigenous neighbours are the only communities that financially support the operating costs of these services**, along with a team of hardworking volunteers.

It is well-known within our communities to call CARE with animal incidents, not Bylaw. The usual experience when calling Bylaw is that it's extremely rare to actually reach a person during business hours, and if you do happen to speak with someone, the response is either:

- We will look into it when/if we have time, or
- We don't have the capacity to pick up stray, injured or unwanted animals, or
- Call the CARE Network

Bylaw has many other situations to deal with, but animals have always been the number one priority of CARE Network. Because of the non-response from bylaw, CARE Network gets all the animal related calls. This is part of the reason why the District has a skewed perception of the amount of animal incidents that actually occur annually in this region. It is my

understanding that the actual statistics have been provided to the District by CARE Network, but those numbers were not properly represented during the recent council meeting.

The suggestion by the Mayor and Council to drive stray animals to the BC SPCA in Port Alberni is not only an inefficient and expensive solution to this issue, but one that is not at all sustainable.

Proposed Solutions:

- 1. Please revisit your decision to not properly fund animal related services as per CARE Network's proposal and either,**
 - a. Accept CARE's 2022 proposal to provide comprehensive animal service support, or**
 - b. Work with CARE Network in the coming months to establish their services at a regional level, perhaps via the ACRD, and fund our share of the services that way.**

- 2. Direct Staff to redesign how bylaw related calls are managed and accounted for. CARE Network has provided District Staff with detailed instructions on how to use Telus to track what types, and the number of calls that come in, even if Bylaw doesn't answer the phone and the caller doesn't leave a message.**

Animal situations happen all the time in our communities and at all hours. There are stray dog situations that put people and other animals at risk, unwanted cat situations that attract wild predators into the community that increase human/wildlife conflict potential, injured birds and sea mammals that are often catalysts for dog and human safety concerns. CARE Network volunteers have spent ten years helping to manage these situations to keep our communities safe and healthy. Other volunteers did this before CARE Network. The problems are clear and we now have the statistics to verify them.

It is time for Ucluelet to pay its share of the regional cost to manage these situations, and sharing these services and their costs with the other communities in the region is the way to go. **It isn't right that neighbouring communities pay for the services that Ucluelet takes advantage of at no cost. Indigenous communities such as mine, have so many other programs and services that need to be funded, yet we continue to fully support the CARE Network because we understand and appreciate the value this organization provides to our community. It's disappointing to learn that Ucluelet and Tofino do not contribute financially and our communities are subsidizing your use of the CARE Network services. It's time to change this.**

Regards,

Jenny Touchie

Jenn Lounsbury

From: Jim Patterson <jimgpatterson531@gmail.com>
Sent: February 16, 2022 12:50 PM
To: corporateservices@tofino.ca; Info Ucluelet
Subject: CARE Network Funding

[External]

Dear Mayor & Council,

Please accept this letter as my support for the Mayor and Council to properly fund animal related services in our community, now. CARE Network has established essential, regional animal care & control related resources and services and our community should be paying for our share of the associated costs.

This Non-Profit Society has been providing community health and safety related services for the past ten years with no core financial support from the district/communities of Tofino or Ucluelet.

While the communities of Tofino and Ucluelet seem happy to utilize the resources and services provided by the CARE Network, such as the animal shelter and after-hour animal emergency services, our Indigenous neighbours are the only communities that financially support the operating costs of these services, along with a team of hardworking volunteers.

It is well-known within our communities to call CARE with animal incidents, not Bylaw. The usual experience when calling Bylaw is that it's extremely rare to actually reach a person during business hours, and if you do happen to speak with someone, the response is either:

- We will look into it when/if we have time, or*
- We don't have the capacity to pick up stray, injured or unwanted animals, or*
- Call the CARE Network*

Bylaw has many other situations to deal with, but animals have always been the number one priority of CARE Network. Because of the non-response from bylaw, CARE Network gets all the animal related calls. This is part of the reason why the District has a skewed perception of the amount of animal incidents that actually occur annually in this region. It is my understanding that the actual statistics have been provided to the District by CARE Network, but those numbers were not properly represented during the recent council meeting.

The suggestion by the Mayor and Council to drive stray animals to the BC SPCA in Port Alberni is not only an inefficient and expensive solution to this issue, but one that is not at all sustainable.

Proposed Solutions:

1. Please revisit your decision to not properly fund animal related services as per CARE Network's proposal and either,

a. Accept CARE's 2022 proposal to provide comprehensive animal service support, or

b. Work with CARE Network in the coming months to establish their services at a regional level, perhaps via the ACRD, and fund our share of the services that way.

2. Direct Staff to redesign how bylaw related calls are managed and accounted for. CARE Network has provided District Staff with detailed instructions on how to use Telus to track what types, and the number of calls that come in, even if Bylaw doesn't answer the phone and the caller doesn't leave a message.

Animal situations happen all the time in our community and at all hours. There are stray dog situations that put people and other animals at risk, unwanted cat situations that attract wild predators into the community that increase human/wildlife conflict potential, injured birds and sea mammals that are often catalysts for dog and human safety concerns. CARE Network volunteers have spent ten years helping to manage these situations to keep our community safe and healthy. Other volunteers did this before CARE Network. The problems are clear and we now have the statistics to verify them.

It is time for our community to pay its share of the regional cost to manage these situations, and sharing these services and their costs with the other communities in the region is the way to go. It isn't right that our neighbouring communities pay for the services that we take advantage of at no cost.

Sincerely -

Jim Patterson

Tofino

Dear Mayor and Council,

Feb 4, 2022

The Pacific Rim Hospice Society is pleased to announce the upcoming **Pacific Rim Better at Home Program (PRBH)**, helping older adults continue living independently in their own homes by providing them with important, non-medical home support services. The PRBH Program will be offered in all ten west coast communities including: Ahousaht, Esowista, Hitacu, Hot Springs Cove, Macoa, Opitsaht and Ty-histansis, Tofino, Ucluelet and Area C-ACRD. Better at Home is funded by the Government of BC and managed by United Way British Columbia.

Better at Home's unique approach includes, 'elders planning for elders' while contributing to the design, operation and evaluation of their local program. Some of the future services this program may offer are:

- Friendly visiting program – pairing volunteers with older adults for chatting
- Transportation to medical/health appointments
- Assistance with grocery /pharmacy shopping
- Light housekeeping
- Light yard work

We invite your community representative to participate in helping with the next steps:

- Forming an Advisory Committee made up of mostly elders (55 years and better) to help guide this program – we are seeking one elder from each community.
- Seeking volunteers for the Friendly Visiting Program
- Volunteer Drivers
- Hiring contractors such as house cleaners, landscapers and maintenance companies.

We would be very interested in talking to you about specific needs in your community and how we can work together to continue to assist and support the older adults in Ucluelet.

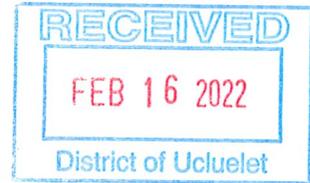
Thank you,

Tarni Jacobsen

Panagiota (Pan) Thymaras

Executive Director
Pacific Rim Hospice Society
Email: executivedirector@pacificrimhospice.ca

Pacific Rim Better at Home Coordinator
Pacific Rim Hospice Society
Email: betterathome@pacificrimhospice.ca



P.O. Box 1146, 160 Seaplane Base Road
Ucluelet, BC V0R3A0

February 15, 2022

Dear Mayor Noel and Council Members:

RE: New Food Bank Building

In 2018 the District of Ucluelet Survey showed resounding support for the Forestry funds to be allocated to the Food Bank on the Edge (FBOTE) for a new building. Over the last four years, the FBOTE Board has devoted considerable time and energy towards planning and pursuing funding for a new building. The Ucluelet District Council, Mayor and staff have provided support and direction for this endeavour. The FBOTE Board's enthusiasm and confidence to undertake this process was anchored, in part, by the assurance that the forestry funding would be available.

On December 19, 2021, the FBOTE was notified that our application for the BC Community Capital Gaming Grand was not approved. The letter stated our application failed to provide the following requirements:

Evidence to Occupy leased lands;
Evidence of project readiness in 36 months and supporting evidence of matching funds.

Should alternative funding become available through grants and partnership agreements this year, a new building is at least two years away. In the intervening years, construction costs will likely continue to rise. Many grants are contingent on the FBOTE assuming ownership of the building upon its completion. Upon reflection, we have decided that ownership is a liability the Board cannot take on. Costs of maintenance, insurance and cleaning would be significant and beyond our financial means.

While our desire and need for a new, safe building out of the tsunami inundation zone persists, we need to decide on a reasonable strategy as we move forward.

The current "new building" project, on which we have already spent \$10,000, is not a realistic strategy for us to pursue. Our 7-person Board of talented, committed and capable persons are volunteers. We have concluded that our focus should be on the day-to-day operations of the weekly food bank and meeting the needs of our clients.

If the District is still committed to the use of the forestry funding, we would welcome a discussion on alternative options such as a "Ready To Move" building installation at the Tugwell site or having the FBOTE lease space in a newly constructed District facility at that location.

Most sincerely,

Board of Directors
Food Bank on the Edge Society



INFORMATION REPORT

Council Meeting: February 22, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM:	PAULA MASON, MANAGER OF CORPORATE SERVICES	FILE NO: 1630-01
SUBJECT:	CHEQUE LISTING – JANUARY 2022	REPORT NO: 22-23
ATTACHMENT(S):	DISTRICT OF UCLUELET A/P CHEQUE LISTING	

PURPOSE

The purpose of this report is to provide Council with a regular update on disbursed cheques and is for information only.

BACKGROUND

Each month Finance staff provide a detailed list of the previous month's cheque run. The listing for the month of January 2022 is attached.

REPORT

The cheque listing has been reviewed to ensure compliance with the *Freedom of Information and Protection of Privacy Act*. The names of individual's shown on the cheque listing are either employed with the District or contracted for the delivery of goods and services.

Respectfully submitted: Paula Mason, Manager of Corporate Services

Pay Date	Vendor #	Vendor Name	Invoice #	Description	Invoice Amount	Hold Amount	Paid Amount	Void
2004-01-22	CRA00	CANADA REVENUE AGENCY	PP26/2021-1	PP26 SOURCE DEDUCTIONS	\$ 20,132.77		\$ 20,132.77	
2004-01-22	CRA00	CANADA REVENUE AGENCY	PP26/2021-2	PP26 SOURCE DEDUCTIONS	\$ 1,838.38		\$ 1,838.38	
2004-01-22	S0171	MUNICIPAL PENSION PLAN	PP26/21	PP26/21	\$ 16,349.82		\$ 16,349.82	
2011-01-22	PI110	PUROLATOR INC	449357943	VIERA/ALS	\$ 65.65		\$ 65.65	
2011-01-22	PI110	PUROLATOR INC	449417479	ALS ENV	\$ 46.04		\$ 46.04	
2011-01-22	PI110	PUROLATOR INC	449469541	ALS ENV	\$ 37.97		\$ 37.97	
2011-01-22	ICT01	DILIGENT CANADA	INV327615	MEETING MANAGER FEB/20-JAN/21	\$ 3,145.80		\$ 3,145.80	
2011-01-22	ICT01	DILIGENT CANADA	INV327616	MEETING MANAGER FEB/21-JAN/22	\$ 3,303.09		\$ 3,303.09	
2017-01-22	ACE07	ALBERNI COMMUNICATIONS & ELECTRONICS LTD	30734	REPLACE CHARGING UNIT TSUNAMI SITE	\$ 1,555.68		\$ 1,611.68	
			30748	LABOUR RADIO BENCH	\$ 56.00			
2017-01-22	ALS21	ALS CANADA LTD.	3311169219	WATER TREATABILITY STUDY	\$ 112.88		\$ 585.49	
			3311170451	WATER TREATABILITY STUDY	\$ 112.88			
			2211170582	WATER TREATABILITY STUDY	\$ 131.25			
			3311168466	WATER TREATABILITY STUDY	\$ 94.50			
			3311169586	WATER TREATABILITY STUDY	\$ 133.98			
2017-01-22	AFS01	ASSOCIATED FIRE & SAFETY	31529	TURNOUT GEAR	\$ 993.30		\$ 993.30	
2017-01-22	BP940	BLACK PRESS GROUP LTD.	34189925	DEC/21 ADS	\$ 1,790.54		\$ 1,790.54	
2017-01-22	MA952	BUREAU VERITAS CANADA (2019) INC.	VA10514877	WATER TESTING C194646	\$ 279.30		\$ 279.30	
2017-01-22	CGISC	CGIS CENTRE	44544	PARCEL POSTER/ PLANNING	\$ 199.50		\$ 199.50	
2017-01-22	CIVIN	CIVIC INFO BC	2021-0887	PLANNING ASST JOB AD	\$ 357.00		\$ 357.00	
2017-01-22	CT002	CLEARTECH INDUSTRIES INC	CM302299	PALLET, DRUM CONTAINER RETURN	-\$ 273.00		\$ 517.44	
			90509	SODIUM HYPOCHLORITE	\$ 790.44			
2017-01-22	COL01	COLYN'S LANDSCAPING LTD.	211031	CEMETERY LANDSCAPING	\$ 40,698.00		\$ 40,698.00	
2017-01-22	DC001	DOLAN'S CONCRETE LTD.	UK52049	CONCRETE	\$ 308.81		\$ 308.81	
2017-01-22	EB295	E.B. HORSMAN & SON	13265605	STREET LIGHTS	\$ 1,082.33		\$ 1,244.18	
			13261365	STREET LIGHTS	\$ 86.05			
			13281909	STREET LIGHTS	\$ 75.80			
2017-01-22	ED977	EDWARDS DAVID	1582	SIDEWALK WORK PO20859	\$ 2,103.15		\$ 2,103.15	
2017-01-22	EISC2	ELITE IMAGE SOFTWARE CORP	31109	BUSINESS CARDS	\$ 117.81		\$ 117.81	
2017-01-22	EL048	ERIK LARSEN DIESEL CO. LTD.	719762	BACKHOE SERVICE PW	\$ 560.23		\$ 866.54	
			719760	BACKHOE SERVICE PW	\$ 306.31			
2017-01-22	FW050	FAR WEST DISTRIBUTORS LTD	F008341	GARBAGE BAGS	\$ 191.39		\$ 191.39	
2017-01-22	GB059	GIBSON BROS. CONTRACTING LTD.	26176	CRUSHED GRAVEL - PW	\$ 414.40		\$ 3,492.16	
			26400	CRUSH GRAVEL DELIVERED	\$ 840.00			
			26404	WATER CONNECTIONS HELEN ST PO20862	\$ 2,237.76			
2017-01-22	G9263	GUDBRANSON, BARB	123554	UCC REIMBURSEMENTS	\$ 92.19		\$ 92.19	
2017-01-22	JR381	J. ROBBINS CONSTRUCTION LTD	5506	19MM CONCRETE AGGREGATE	\$ 134.40		\$ 4,903.31	
			5490	CONCRETE PAD PARKS YARD	\$ 1,548.54			
			5517	AGGREGATE DELIVERY DEC 10/21	\$ 1,013.27			
			5507	AGGREGATE DELIVERY DEC 9/21	\$ 1,990.00			
			5501	TOPDRESSING MARINE/CYNAMOKA DEC7/21	\$ 217.10			
2017-01-22	JAL42	JAL DESIGNS AND GRAPHICS INC.	40503280	REC-SOCCER JERSEYS	\$ 2,567.25		\$ 2,567.25	
2017-01-22	CK608	KASSLYN CONTRACTING	D807	D807	\$ 1,575.37		\$ 10,523.09	
			D808	D808	\$ 2,206.36			

Pay Date	Vendor #	Vendor Name	Invoice #	Description	Invoice Amount	Hold Amount	Paid Amount	Void
			D809	D809	\$ 6,741.36			
2017-01-22	KL923	KERDMAN LINDSAY	123552	GYMNASTICS CAMP FALL/21	\$ 1,795.20		\$ 1,795.20	
2017-01-22	LAN02	LANARC 2015 CONSULTANTS LTD.	UCLUEL-21-1300	UCLUEL-21-317 VILLAGE GRN	\$ 3,228.23		\$ 3,228.23	
2017-01-22	LM499	LOCKSMITH MONSTER, THE	LM14164	UCC INSTALL LEVER	\$ 693.00		\$ 693.00	
2017-01-22	MEC01	MEC PROJECTS LTD	3475	TROUBLESHOOT SIREN AND PARKING LOT LIGH	\$ 89.25		\$ 89.25	
2017-01-22	ZW172	ZONE WEST ENTERPRISES LTD	66331	HELMET NAME DECALS	\$ 55.27		\$ 55.27	
2017-01-22	WC345	WURTH CANADA LTD	24637135	GLOVES	\$ 124.27		\$ 2,003.79	
			24633299	HI VIS JACKET	\$ 541.92			
			24639563	HARDWARE/ PW	\$ 135.47			
			24633464	SAFETY GEAR/PW	\$ 559.18			
			24645640	HI VIS JACKET	\$ 118.70			
			24649175	CLAW HAMMER	\$ 21.27			
			24655495	MISC HARDWARE PW	\$ 502.98			
2017-01-22	WP166	WINDSOR PLYWOOD - UCLUELET DIV.	82971A	ETRUCK LOCK WASHERS	\$ 0.74		\$ 769.18	
			83000A	PARKS LUMBER/MATERIALS	\$ 116.34			
			83031A	PARKS MATERIALS	\$ 74.77			
			83154A	UCC DOOR SWEEPS	\$ 216.20			
			83659A	PARKS LUMBER	\$ 76.16			
			83723A	WPT MATERIALS	\$ 11.20			
			83773A	PW CHAINSAW FILES	\$ 12.75			
			83822A	REC HALL CEILING REPAIR	\$ 91.04			
			84087A	INNER BOAT BASIN REPAIRS	\$ 169.98			
2017-01-22	WP166	WINDSOR PLYWOOD - UCLUELET DIV.	82202A	PARKS LED LIGHTS	\$ 5.32		\$ 1,749.65	
			82254A	PARKS MATERIALS	\$ 189.37			
			82311A	PARKS LADDERS	\$ 505.07			
			82372A	OUTDOOR CHRISTMAS LIGHTS	\$ 13.80			
			82581A	FIREHALL MAINTENANCE	\$ 6.90			
			82634A	SCH BATHROOM MAINTENANCE	\$ 110.70			
			82654A	PARKS SUPPLIES	\$ 53.76			
			82677A	SOCCER NET MAINTENANCE	\$ 37.49			
			82763A	PARKS POWER TOOLS	\$ 791.06			
			82808A	PW ROPE	\$ 9.35			
			82826A	CLEANING SOLUTION	\$ 26.83			
2017-01-22	WES06	WESTERN WATER AND GAS PRODUCTS LTD.	153435	= ("OCTAVE METERS 1.5" X2")	\$ 3,136.00		\$ 3,136.00	
2017-01-22	WCC28	WESTCOAST CONNECT	6905	NOV/21 COURIER	\$ 338.95		\$ 338.95	
2017-01-22	VQ122	VISIONS QUEST PRODUCTIONS	123553	CIRCUS CAMP FALL/21	\$ 3,684.00		\$ 3,684.00	
2017-01-22	UI923	UKEE INFO TECH	12538	IT SUPPORT DEC/21	\$ 8,548.58		\$ 8,548.58	
2017-01-22	UKE01	UKEE AUTO SERVICE	0753816	#3 REAR DOOR PANEL REPLACE	\$ 266.56		\$ 843.36	
			0753859	#3 GENERAL SERVICE	\$ 100.80			
			0753813	#23 LUBE OIL FILTER/PW	\$ 156.80			
			0753879	#10 SERVICE	\$ 319.20			
2017-01-22	UR849	UCLUELET RENT-IT CENTER LTD	44184	SMALL ENGINE REPAIR /PARKS	\$ 608.42		\$ 2,229.99	
			44185	SMALL ENGINE REPAIR/PW	\$ 299.93			
			44015	SUB SAND TRASH PUMP	\$ 610.44			

Pay Date	Vendor #	Vendor Name	Invoice #	Description	Invoice Amount	Hold Amount	Paid Amount	Void
			44122	SEWER TRUCK MURRAYS	\$ 319.20			
			44190	SEWER TRUCK 52 STEPS LIFT STATION	\$ 392.00			
2017-01-22	UP459	UCLUELET PETRO-CANADA	13534	MAXLIFE 5L - PW	\$ 72.12		\$ 78.73	
			14079A	GREY RANGER BATTERY LUG	\$ 6.61			
2017-01-22	UMC10	FOERSTER, DR. L., INC.	10073	FIRE RESCUE MEDICAL EXAM	\$ 145.00		\$ 145.00	
2017-01-22	UC142	UCLUELET CONSUMER'S CO-OPERATIVE ASSN	02DEC21#7981	CHRISTMAS LIGHTS	\$ 73.32		\$ 8,926.68	
			08DEC21#9160	E-TRUCK PARTS	\$ 39.04			
			13DEC21#5220	SNOW CLEARING SUPPLIES	\$ 46.60			
			15DEC21#0692	LYCHE COFFEE/TEA	\$ 111.72			
			16DEC21#5994	POWER BARS UCC	\$ 47.40			
			71557451	QUAD PREMIUM FUEL	\$ 11.44			
			71557734	ENGINE OIL	\$ 27.02			
			30DEC21#3298	WATER COOLER REFILLS	\$ 18.75			
			71557998	QUAD PREM FUEL	\$ 11.73			
			16DEC21#3707	STAFF CHRISTMAS GIFTS	\$ 3,731.00			
			7342	CARDLOCK DEC/21	\$ 4,808.66			
2017-01-22	TSC19	TRANSPARENT SOLUTIONS CORP	12483	SPAM BLOCKER JAN - MAR/22	\$ 62.84		\$ 62.84	
2017-01-22	TC002	THORNTON CREEK ENHANCEMENT SOCIETY	Q4/2021	Q4/2021 HARBOUR COLLECTIONS	\$ 1,424.48		\$ 1,424.48	
2017-01-22	TCP01	TCPTRAINING 4U	1308	TRAFFIC CONTROL COURSE	\$ 5,833.80		\$ 5,833.80	
2017-01-22	SP010	SUPERIOR PROPANE	36829137	UCC PROPANE REFILL	\$ 920.17		\$ 954.39	
			5626628	LATE PYMT FEE 03/05/2021	\$ 34.22			
2017-01-22	SD199	SCHRAMM DESIGN	3033	AQUARIUM/FISH ED. SIGNAGE	\$ 5,964.00		\$ 5,964.00	
2017-01-22	PF686	PROFIRE EMERGENCY EQUIPMENT	P047096	SERVICE INSPECTION/SUPPLIES	\$ 262.08		\$ 3,491.00	
			P047095	UNIT E1 SERVICE	\$ 1,880.59			
			P047094	UNIT E2 SERVICE	\$ 1,348.33			
2017-01-22	PR725	PACIFIC RIM MARINE SEARCH & RESCUE SOC	Q4/2021	Q4/2021 HARBOUR COLLECTIONS	\$ 2,858.97		\$ 2,858.97	
2017-01-22	AGS11	NEXTGEN AUTOMATION	377727	COPIER USAGE 11/29/21-12/28/21	\$ 793.06		\$ 793.06	
2017-01-22	MISC		123555	WEDDING CANCELLATION REFUND	\$ 1,486.01		\$ 1,486.01	
2017-01-22	MISC	BAKER, BRENT	123548	FIRST RESPONDER EVALUATION 1/2 DAY	\$ 125.00		\$ 125.00	
2025-01-22	COM04	COMOX PACIFIC EXPRESS LTD.	320305444	FROM ADV DRAINAGE SYSTEMS	\$ 444.71		\$ 444.71	
2025-01-22	MISC	UCLUELET SURF SHOP INC.	TUP21-08	TUP21-08 DMG DEP RETURN	\$ 1,000.00		\$ 1,000.00	
2025-01-22	MISC	UCLUELET HARBOUR SEAFOODS	TUP21-11	TUP21-11 DMG DEP RETURN	\$ 3,000.00		\$ 3,000.00	
2025-01-22	N9371	NOEL MAYCO	123562	NOEL NOV-DEC/21 EXPENSES	\$ 148.68		\$ 148.68	
2025-01-22	OE421	ON THE EDGE ROOFING & CONTRACTING	918	ROOF INSPECTION UCC	\$ 525.00		\$ 525.00	
2025-01-22	RW916	ROBERT WYLIE	123560	APPROVING OFFICER MAR-DEC/21	\$ 526.28		\$ 526.28	
2025-01-22	SC003	SHARE CANADA	23934	NATRACLENE DEGREASER	\$ 2,518.32		\$ 2,518.32	
2025-01-22	TU428	TOURISM UCLUELET	09/21	SEP/21 MRDT	\$ 57,093.82		\$ 99,827.53	
			10/21	OCT/21 MRDT	\$ 42,733.71			
2025-01-22	UR849	UCLUELET RENT-IT CENTER LTD	44326	3000 GAL TRUCK RENTAL/PW	\$ 462.01		\$ 3,100.73	
			44312	DEC/21 PORTABLE SERVICE/CLEANING	\$ 2,638.72			
2025-01-22	AL001	ACKLANDS - GRAINGER INC.	9173957300	CALIBRATION GAS/PW	\$ 332.03		\$ 332.03	
2025-01-22	ALS21	ALS CANADA LTD.	3311172687	WATER TREATBILITY PO20857	\$ 48.56		\$ 48.56	
2025-01-22	CAN01	CANADIAN ASSOCIATION OF FIRE CHIEFS	300005836	2022 MEMBERSHIP	\$ 162.75		\$ 162.75	
2025-01-22	CN411	CITY OF NANAIMO	AR012395	VIERA PROGRAM FIRE RESCUE	\$ 1,050.00		\$ 1,050.00	

Pay Date	Vendor #	Vendor Name	Invoice #	Description	Invoice Amount	Hold Amount	Paid Amount	Void
2025-01-22	civin	CIVIC INFO BC	2022-0046	MEMBERSHIP 2022	\$ 153.30		\$ 153.30	
2025-01-22	CN043	CROWS NEST UCLUELET	5783	2022 DAILY PLANNER & CALENDARS/PARKS	\$ 210.09		\$ 210.09	
2025-01-22	EB295	E.B. HORSMAN & SON	13292522	STREET LIGHTS	\$ 192.36		\$ 704.69	
			13299370	STREET LIGHTS	\$ 512.33			
2025-01-22	FW050	FAR WEST DISTRIBUTORS LTD	F008547	GARBAGE BAGS/PAPERTOWEL/TP	\$ 405.97		\$ 405.97	
2025-01-22	FRO01	FRONTLINE OUTFITTERS	56101	UFR JACKETS	\$ 791.86		\$ 791.86	
2025-01-22	IC130	INFOSAT COMMUNICATIONS	494918	EOC MOBILE SAT PHONE SUBSCRIPTION JAN 22	\$ 65.12		\$ 65.12	
2025-01-22	JD79	J & D WEAVER HOLDINGS LTD	146322	BATTERY	\$ 33.80		\$ 33.80	
2025-01-22	CK608	KASSLYN CONTRACTING	D810	D810	\$ 975.65		\$ 4,132.77	
			D811	D811	\$ 1,838.78			
			D812	D812	\$ 1,318.34			
2025-01-22	LG003	LGMA	P-2843	2022 LGMA MEMBERSHIP	\$ 1,130.85		\$ 1,130.85	
2025-01-22	FC186	MUNICIPAL 360 INC.	100049	ANNUAL MAINTENANCE AGREEMENT	\$ 3,150.00		\$ 3,150.00	
2025-01-22	MI224	MUNICIPAL INSURANCE ASSOCIATION OF B.C.	L2022-257	2022 LIABILITY ASSESSMENT	\$ 17,801.00		\$ 17,801.00	
2025-01-22	PF686	PROFIRE EMERGENCY EQUIPMENT	P047364	TRUCK MAINTENANCE PARTS	\$ 840.28		\$ 840.28	
2025-01-22	SC003	SHARE CANADA	24122	DEGREASER FOR LIFT STATIONS	\$ 2,553.60		\$ 2,553.60	
2025-01-22	CE004	STAPLES PROFESSIONAL	58118445	OFFICE SUPPLIES	\$ 59.48		\$ 170.31	
			58136279	OFFICE SUPPLIES	\$ 110.83			
2025-01-22	SUN02	SUN LIFE ASSURANCE COMPANY OF CANADA	00126674	EMPLOYEE ASSISTANCE PROGRAM DOU/TU	\$ 135.98		\$ 135.98	
2025-01-22	UP459	UCLUELET PETRO-CANADA	14371	VEHICLE LIGHTBULB	\$ 4.46		\$ 4.46	
2025-01-22	UR849	UCLUELET RENT-IT CENTER LTD	44470	FILTER	\$ 10.77		\$ 10.77	
2025-01-22	VF001	VOLUNTEER FIREFIGHTERS' ASSN. OF B.C.	RENEW2022	FIRE DEPARTMENT MEMBERSHIP 2022	\$ 374.00		\$ 374.00	
2025-01-22	XC300	XPLORNET COMMUNICATIONS INC	40904797	DEC/21 - JAN/22 SAT INTERNET	\$ 76.16		\$ 76.16	



INFORMATION REPORT

Council Meeting: February 22, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM:	PAULA MASON, MANAGER OF CORPORATE SERVICES	FILE NO: 0550-20
SUBJECT:	RESOLUTION TRACKING – FEBRUARY 2022	REPORT NO: 22-24
ATTACHMENT(S):	RESOLUTION TRACKER - FEBRUARY 2022	

PURPOSE

The purpose of this report is to provide Council with a monthly status update on resolutions that have been adopted by Council.

BACKGROUND

The resolution tracking report, attached, provides Council with an overview of actions resulting from resolutions of Council. Trackers are assigned to staff with the following progress designations:

- Assigned – action has not yet commenced;
- In Progress – action has been taken by Staff; and,
- Complete – action has been completed.

Items will be removed from the list after actions are shown once as being completed.

Respectfully submitted: PAULA MASON, MANAGER OF CORPORATE SERVICES

Meeting	Date	Agenda Item #	Meeting Item Description	Resolution	Action	Staff Responsible	Department Responsible	Follow-Up Status
Regular Council	September 25, 2018	11.3	Lease with Ucluelet & Area Historical Society	THAT Council approve recommendation 1 of report item, "Lease with Ucluelet & Area Historical Society", which states: THAT Council enter into a lease agreement with the Ucluelet and Area Historical Society that is similar to their original Provincial Lease #111228 – Block A District Lot 1507, Clayoquot Land District for approximately 2.4 hectares	Meet with UAHS looking at options. UAHS to get back to Ms. Fortune to confirm the direction they would like to proceed	Abigail Fortune	Parks & Recreation	In Progress: Letter is being sent to the historical society with a deadline attached
Regular Council	May 14, 2019	13.4.	Zoning Amendment, Housing Agreement & DVP (354 Forbes Road)	THAT Council, with regard to the proposal to renovate the building on Lot 17, District Lot 281, Clayoquot District, Plan VIP76147 (354 Forbes Road) and request for zoning amendments to permit commercial tourist accommodation on the property: give third reading to the "District of Ucluelet Zoning Bylaw Amendment Bylaw No. 1248, 2019"; give third reading to the "Ucluelet Housing Agreement Bylaw No. 1249, 2019"; and issue Development Variance Permit DVP19-03	Bring Bylaw No. 1248 & No. 1249 for adoption, once all subject to conditions being met	Bruce Greig	Planning	Updated bylaw presented to Council for consideration at Feb 22 regular meeting.
Regular Council	December 10, 2019			THAT Staff provide Council with options for rejuvenating the Frank Jones Memorial site.	Staff to provide Council with options for rejuvenating the Frank Jones Memorial site	Abigail Fortune	Parks & Recreation	In Progress - This will be part of overall master plan for Tugwell Field Area - Planning 2022
Regular Council	January 14, 2020			THAT Staff work with Black Rock Oceanfront Resort & Spa to identify unique solutions for navigation to the resort	A.) Staff to incorporate options for directional landmarks in designs for Peninsula Road B.) Staff to follow up with Black Rock to discuss options for appropriate directional signs	Bruce Greig	Planning	In Progress - pending design phase of Peninsula Road project.
Regular Council	February 11, 2020	13.5.	West Coast Multi-Use Path Extension Bruce Greig, Manager of Community Planning West Coast Multi-Use Path Extension	THAT the District of Ucluelet make application to the Ministry of Forests, Lands, Natural Resource Operations and Rural Development to expand Licence of Occupation File 1407317, to allow for the extension of the West Coast Multi Use Path and other associated utility uses, between the existing Multi Use Path and Pacific Rim National Park Reserve	Apply to the Ministry of Forests, Lands, Natural Resource Operations and Rural Development	Warren Cannon	Planning / Public Works	Complete - ACRD is taking the lead on this project.
Regular Council	March 12, 2020	10.2.	Reporting and Request for Funding Letter from the Ucluelet Chamber of Commerce	THAT Council directs Staff to present a report that explores options for the use of the \$10,000 allocated to explore economic development options including the future location of Tourism Ucluelet	Draft report regarding future locations for Tourism Ucluelet	Bruce Greig	Planning	Complete - TU secured office space on Main St.
Regular Council	March 17, 2020	14.2.	Water Treatment Loan Authorization Donna Monteith, Chief Financial Officer	THAT District of Ucluelet Loan Authorization Bylaw No. 1268, 2020 be given third reading and referred to the Inspector of Municipalities for approval	Staff to refer bylaw to the Inspector for Municipalities for approval	Paula Mason	Administration / Finance	Costing Received, report prepared for Feb 22, Council meeting seeking direction on an AAP process.
Regular Council	June 23, 2020	13.1	District of Ucluelet Flood Mapping Project Bruce Greig, Manager of Community Services	THAT Council earmark the results of the flood mapping project for upcoming discussions in the Strategic Planning update and subsequent Budget preparations, for next steps to: update Emergency Preparedness plans; consider resiliency in long-term Asset Management planning; consider changes to development regulations, including a process for public consultation, as they relate to existing properties; and, consider new policy on future developments to avoid areas of flood risk.	Use report findings to update strategic planning, emergency preparedness plans, asset management planning, development regulations, policies related to development and subsequent budget preparation.	Joseph Rotenberg	Administration	Assigned: this will be brought back during strategic and budget planning.
Regular Council	July 14, 2020		Audio Visual Upgrades for the Main Hall	THAT Council approve using up to \$60,000 RMI funds for Audio Visual (AV) upgrades to the Main Hall at the Ucluelet Community Centre.	Implement AV upgrades.	Abigail Fortune	Parks & Recreation	In Progress - Final installation underway
Regular Council	October 13, 2020	13.1	Revised Covenant and Option to Purchase - Lot 13 Marine Drive Bruce Greig, Manager of Community Planning	THAT Council indicate that the offer to provide funding in the amount of \$320,000.00 to support the servicing and infrastructure of the development to reduce the cost of units to qualifying households would remain valid until September 1, 2025, and would be payable upon the owner obtaining a final occupancy permit for the last of the 33 houses to be built on the proposed lots.	Pay funds to the developer if and when occupancy permits are issued.	Donna Monteith	Finance	Assigned: Long Term Project Subject to Developer performance.
Regular Council	December 15, 2020	14.1	Development of "The Cabins" Properties in the Reef Point Area John Towgood, Planner 1	THAT Council authorize the following: a. discharge of Statutory Right-of-Way EL10355 from the Cabins Property, as defined in this report, at the time the subdivision is registered to redefine the parcel boundaries for the subject properties; and, b. removal of section 3.a from Statutory Right-of-Way EL10354 from the Lodge and the Staff Housing Property, as defined in this report, at the time the subdivision is registered to redefine the parcel boundaries for the subject properties; and,	Refer Discharge and Amendment of SRWs to the subdivision process once application is received.	Bruce Greig	Planning	Survey underway. Pending receipt of subdivision application.
Regular Council	June 15, 2021	13.4	Resolution Tracking - May 2021 Paula Mason, Administration Clerk	THAT staff provide a report to Council with options for the investment of Barkley Community Forest Funds at an upcoming Council Meeting.	Staff to provide report.	Duane Lawrence	CAO	Bylaw and policy under development as directed from CoW.

February 2022 Resolution Tracking Paula Mason, Manager of Corporate Services

Meeting	Date	Agenda Item #	Meeting Item Description	Resolution	Action	Staff Responsible	Department Responsible	Follow-Up Status
Regular Council	September 21, 2021		Dr. Carrie Marshall and Faye Missar, Coastal Family Resource Coalition Re: Harm Reduction	THAT Council direct Staff to bring back the alcohol harm reduction information to a future meeting for Council discussion.	Draft report and bring back alcohol related information for Council discussion.	Abigail Fortune	Recreation	In progress COW Report - March 2022
Regular Council	October 12, 2021	13.1	Every Child Matters Crosswalk Courtney Johnson	THAT Council Consider implementing an Every Child Matters crosswalk during the 2022 Budget process.	Added to 2022 budget. Workplan in progress.	James Macintosh	Public Works	Determining suitable locations for consideration.
Regular Council	October 26, 2021	11.1	Review of Bylaw 967, 2004 Rick Geddes, Fire Chief, Ucluelet Fire Rescue	THAT Council directs staff to update Bylaw No. 967, 2004 in the form of a new bylaw to regulate the sale, use, and possession of fireworks within the municipality by: a. prohibiting the sale, use, or possession of Consumer fireworks; and, b. permitting the use of Display Fireworks and Special Effect Pyrotechnics through a permitting process.	In progress	Rick Geddes	Fire & Emergency Services	Bylaw under development.
Regular Council	October 26, 2021	13.1	Correspondence Regarding Bay Street Speed Controls and Crosswalk	THAT Council direct Staff to present a report regarding speed controls for consideration at a future meeting of Council.	Added to 2022 budget. Workplan in progress.	James Macintosh	Public Works	Planned for Fall of 2022.
Regular Council	November 9, 2021	13.7	AVICC Workshop Suggestions, Hotels for 2022 Convention	THAT Councillor Cole, Councillor McEwen, Councillor Hoar, Councillor Kemps, and Mayor Noël be approved to attend the 2022 Annual AVICC Conference in Victoria.	Register Council members to attend and book accommodations.	Paula Mason	Administration	In Progress: Accommodations Booked/Registration opens mid-Feb 2022
Regular Council	December 14, 2021	11.7	Small Craft Harbour Over-Hold Agreement Abby Fortune, Director of Parks and Recreation	THAT Council authorize the District of Ucluelet to enter into an Over-hold Agreement between the District of Ucluelet and Small Craft Harbours, Department of Fisheries and Oceans (DFO) until such time that a new head lease agreement is executed.	Execute over-hold agreement	Abigail Fortune	Recreation	Completed: Over-hold Agreement executed
Regular Council	December 14, 2021	11.3	Parking Concerns 1624 Bay Street James Macintosh, Director, Engineering Services	THAT Council direct staff to relocate the pedestrian pathway and cross walk currently located on the west side of Bay Street to the east side of Bay Street.	Develop new routing plan; convey plan to affected residents and implement project.	James Macintosh	Public Works	Re-alignment will occur with next paving project.
Regular Council	January 11, 2022	11.2	Cedar Hub Washroom Contract Authorization James Macintosh, Director of Engineering Services	It was moved and seconded THAT Council approve Option A, to authorize a \$124,431.52 plus GST contract between the District of Ucluelet and Muchalat Projects Ltd. to build, deliver and install the Cedar Hub washroom facility; and further, THAT Council direct Staff to reallocate \$24,431.52 from Resort Municipality Initiative funds towards the completion of the Cedar Hub washroom facility.	Finalize contract, sign & file; proceed with award of contract and oversee project.	James Macintosh	Public Works	Contract signed and issued. Delivery and install to be completed by June 2022.
Regular Council	January 11, 2022	11.1	Union of BC Municipalities 2022 Joint EOC Grant Application Rick Geddes, Fire Chief	It was moved and seconded THAT Council approve Option A, that the District of Ucluelet agrees to partner with the Alberni-Clayoquot Regional District on the Union of BC Municipalities 2022 Community Emergency Preparedness Fund's Emergency Operations Centres and Training grant and therefore, authorizes the ACRD to apply for, receive and manage grant funding on behalf of the District of Ucluelet.	Follow up with ACRD on the grant application and training.	Rick Geddes	Fire & Emergency Services	Assigned
Regular Council	January 25, 2022	13.1	Guiding Lights Across BC - Feb 22 2022 Isabella Lee, BC Public Relations and Communications Adviser, BC Council, Girl Guides of Canada	It was moved and seconded THAT Council direct Staff to light up our District of Ucluelet sign at the junction with blue lights on February 22, 2022 in support of the Guiding Lights Across British Columbia initiative organized by Girl Guides of Canada.	Staff to light up the District of Ucluelet sign at the junction with blue lights on February 22, 2022	James Macintosh	Public Works	Lighting will be completed on Feb 22.
Regular Council	January 25, 2022	13.6	International PURPLE DAY® for Epilepsy Awareness - March 26, 2022 Deirdre Syms, Interim Executive Director, BC Epilepsy Society	It was moved and seconded THAT Council direct Staff to light up our District of Ucluelet sign at the junction with purple lights on March 26, 2022 in support of the International PURPLE DAY® for Epilepsy Awareness .	Staff to light up the District of Ucluelet sign at the junction with purple lights on March 26, 2022	James Macintosh	Public Works	Lighting will be completed on March 26.
Regular Council	January 25, 2022		Revenue Anticipation Borrowing Bylaw No. 1301, 2022 - Adoption Paula Mason, Manager of Corporate Services	It was moved and seconded THAT Council approve Option A, to adopt District of Ucluelet Revenue Anticipation Borrowing Bylaw No.1301, 2022 as presented.	Print, sign & file bylaw.	Paula Mason	Administration	Complete
Regular Council	January 25, 2022	10.2	Zoning Amendment B ylaw No. 1299 - 312 Pass of M effort Place Bruce Greig, Director of Community Planning	It was moved and seconded THAT Council move Option A, to: 1. give Zoning Amendment Bylaw No. 1299, 2021 third reading; and 2. adopt Zoning Amendment Bylaw No. 1299, 2021.	Print, sign & file bylaw.	Paula Mason	Administration	Complete
Regular Council	January 25, 2022	10.1	Ucluelet Official Community Plan B ylaw No. 1236, 2020 Bruce Greig, Director of Community Planning	It was moved and seconded THAT Council move Option A, to: 1. amend District of Ucluelet Official Community Plan Bylaw No. 1236, 2020, to incorporate the edits as presented in draft 7.4 as described in the staff report dated January 25, 2022; 2. give District of Ucluelet Official Community Plan Bylaw No. 1236, 2020 third reading as amended; and 3. adopt District of Ucluelet Official Community Plan Bylaw No. 1236, 2020.	Print, sign and file bylaw.	Paula Mason	Administration	Complete
Regular Council	January 25, 2022		January 11, 2022 Regular Minutes	It was moved and seconded THAT Council adopt the January 11, 2022 Regular Minutes as presented.	Print, sign & file minutes.	Paula Mason	Administration	Complete
Regular Council	December 14, 2021	11.2	2022 Corporate Officer and Deputy Corporate Office Appointments Joseph Rotenberg, Manager of Corporate Services	THAT Council approve Option A, to appoint Duane Lawrence as the District of Ucluelet Corporate Officer, effective December 14, 2021; and, THAT Council appoint Joseph Rotenberg, as the District of Ucluelet Interim Deputy Corporate Officer from December 14, 2021 to January 2, 2022, effective immediately; and further, THAT Council appoint Paula Mason as the District of Ucluelet Deputy Corporate Officer, effective January 3, 2022.	Sign Officer's oaths and update the LGMA with the new designations.	Paula Mason	Administration	Complete

February 2022
 Regular Council
 Resolution Making
 Paula Mason, Manager of Corporate Services

Meeting	Date	Agenda Item #	Meeting Item Description	Resolution	Action	Staff Responsible	Department Responsible	Follow-Up Status
Regular Council	January 11, 2022	13.3	2022 COFI Convention - Complimentary Registration - RSVP required Susan Yurkovich, President & CEO, Council of Forest Industries	It was moved and seconded THAT Mayor Noël be authorized to attend the COFI convention on April 27-29, 2022 in Vancouver.	Make arrangements for Mayor Noel to attend 2022 COFI convention.	Paula Mason	Administration	Complete
Regular Council	October 12, 2021	11.2	Proposed Amendment to District of Ucluelet Single-Use Item Regulation Bylaw No. 1266, 2020 Joseph Rotenberg, Manager of Corporate Services	THAT Council direct Staff to present amendments to "District of Ucluelet Single-Use Item Regulation Bylaw No. 1266, 2020" that regulate the provision of plastic and bioplastic utensils and stir sticks.	Draft bylaw amendment for presentation to Council.	Paula Mason	Administration	Complete
Regular Council	January 11, 2022	10.2	Council Procedure Bylaw No. 1300, 2021 Paula Mason, Manager of Corporate Services	It was moved and seconded THAT Council approve Option A, to adopt District of Ucluelet Council Procedure Bylaw No. 1300, 2021 as presented.	Print, sign & file the Bylaw.	Paula Mason	Administration	Complete
Regular Council	January 25, 2022	13.10	Seeking your support for TELUS's application to provide improved connectivity to Highway 4 under the Connecting British Columbia Program Shaye Draper, General Manager, Customer Solutions Delivery, TELUS	It was moved and seconded THAT Council approve the issuance of a letter of support with respect to Telus's application to the BC Economic Recovery Intake Fund and Connecting BC Program in order to provide increased connectivity along the Highway 4 corridor between Port Alberni and Ucluelet.	Forward a letter of support to TELUS	Paula Mason	Administration	Complete
Special Council	March 12, 2020	12.3.	Operating and Project Review - Draft 5 Year Financial Plan	THAT Council direct Staff to provide a report on options for investing the remaining Community Forest Funds that have not been allocated for the 2020 budget	Draft report	Duane Lawrence	CAO	Complete
Regular Council	June 15, 2021	13.2	Food Bank on The Edge - proposed new location Bruce Greig, Manager of Community Planning	THAT Council supports contributing to the project to offset site servicing and construction costs, with confirmation of the amount and source of funding to be determined in the 2022 budget process.	Bring forward during budget 2022 budget discussions.	Joseph Rotenberg	Administration	Complete - Correspondence received from Food Bank indicating that they are no longer pursuing the construction of a building.
Regular Council	January 11, 2022	11.2	Cedar Hub Washroom Contract Authorization James MacIntosh, Director of Engineering Services	It was moved and seconded THAT Council approve Option A, to authorize a \$124,431.52 plus GST contract between the District of Ucluelet and Muchalat Projects Ltd. to build, deliver and install the Cedar Hub washroom facility; and further, THAT Council direct Staff to reallocate \$24,431.52 from Resort Municipality Initiative funds towards the completion of the Cedar Hub washroom facility.	Reallocate RMI funds to pay contractor when invoice is due. Update budget.	Donna Monteith	Finance	Complete
Regular Council	January 11, 2022	10.1	Revenue Anticipating Borrowing Bylaw No. 1301, 2022 Donna Monteith, Chief Financial Officer	It was moved and seconded THAT Council approve Option A, to give first, second and third readings to Revenue Anticipation Borrowing Bylaw No. 1301, 2022 as presented.	Bring back Bylaw for Adoption on January 25, 2022.	Paula Mason	Administration	Complete
Regular Council	January 11, 2022	13.4	Elected Officials - Parental Leave Rachel Dumas, Director of Corporate Services, District of North Saanich	It was moved and seconded THAT Council direct Staff to issue a letter to the Minister of Municipal Affairs, in support of Parental Leave for Elected Officials.	Write and forward a letter to the Minister of Municipal Affairs, in support of Parental Leave for Elected Officials.	Paula Mason	Administration	Complete
Regular Council	January 11, 2022	11.3	2022 Council Meeting Schedule Paula Mason, Manager of Corporate Services	It was moved and seconded THAT Council approve Option A, to adopt the amended District of Ucluelet 2022 Council Meeting Schedule and provide public notice in accordance with the Council Procedure Bylaw.	Update District website to inform the public of the amended District of Ucluelet 2022 Council Meeting Schedule.	Paula Mason	Administration	Complete